

Title	Planning Applications
To:	Planning Control Committee
On:	25 October 2016
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Township Forum - Ward: Prestwich - Holyrood	App No. 59633
	Location: Land at rear of 315 Bury Old Road, Prestwich, Manchester, M25 1JA	
	Proposal: Erection of 4 no. dwellings	
	Recommendation: Approve with Conditions	Site Visit: N
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02	Township Forum - Ward: Ramsbottom and Tottington - Ramsbottom	App No. 59715
	Location: Redisher Works, Holcombe Old Road, Ramsbottom, Bury, BL8 4NQ	
	Proposal: Demolition of existing buildings and erection of 22 no. dwellings including works to culverted watercourse	
	Recommendation: Minded to Approve	Site Visit: Y
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03	Township Forum - Ward: Prestwich - St Mary's	App No. 59951
	Location: 1 Glenmere Close, Prestwich, Manchester, M25 3BH	
	Proposal: Change of use from 6 bed HMO to 8 bed HMO with creation of additional car parking space and 6 no. cycle spaces	
	Recommendation: Approve with Conditions	Site Visit: N
<hr/>		
04	Township Forum - Ward: Ramsbottom + Tottington - Tottington	App No. 60156
	Location: The Roundhouse, Bradshaw Road, Walshaw, Tottington, Bury, BL8 3PN	
	Proposal: Variation of condition no. 2 (approved drawings) of planning permission 54249: This decision relates to proposed plans (received on 12 July, 2016) and the development shall not be carried out except in accordance with the drawings hereby approved.	
	Recommendation: Approve with Conditions	Site Visit: N
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05	Township Forum - Ward: Prestwich - St Mary's	App No. 60194
	Location: Plots 1 & 2, Shrewsbury Road, off Lowther Road, Prestwich, Manchester, M25 9QG	
	Proposal: Variation of condition no. 2 (approved drawings) of planning permission 56691 to change the construction type and position of section of retaining wall behind plots 1 & 2 and revisions to the vehicle access gates (swing to sliding) and addition of lighting on columns to gates.	
	Recommendation: Approve with Conditions	Site Visit: N
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06	Township Forum - Ward: Bury East - Redvales	App No. 60413
	Location: 34 Parkhills Road, Bury, BL9 9AT	

Proposal: Two storey extension at side and rear; Excavation of front garden to allow formation of new vehicular and pedestrian access onto Horne Street
Recommendation: **Site** N
Visit:

07 Township Forum - Ward: Prestwich - Sedgley **App No.** 60414

Location: 106 Park Road, Prestwich, Manchester, M25 0DY
Proposal: Conversion of residential house to 6 no. apartments
Recommendation: Approve with Conditions **Site** N
Visit:

08 Township Forum - Ward: Bury West - Elton **App No.** 60425

Location: Killelea House, Brandlesholme Road, Bury, BL8 1JJ
Proposal: First floor extension and remodelling of building with new main entrance at front; Creation of outdoor covered outdoor therapy area and outdoor terrace; New roadway within the site, widened access from Brandlesholme Road and additional on site parking; Lighting to external areas; Refuse storage compound and cycle racks accessed from existing service road rear and demolition of 2 no. existing garages
Recommendation: Approve with Conditions **Site** N
Visit:

09 Township Forum - Ward: Bury East - Redvales **App No.** 60482

Location: Thumbs Up (Bury) Ltd, Greenfields, Dumers Lane, Bury, BL9 9UT
Proposal: Proposed trailer storage area and open material storage, erection of landscaped perimeter bunding and acoustic/security fencing
Recommendation: Approve with Conditions **Site** N
Visit:

10 Township Forum - Ward: Radcliffe - West **App No.** 60508

Location: Harper Fold Farm, Lavender Street, Radcliffe, Manchester, M26 3TJ
Proposal: Proposed barn conversion to form 2 no. new dwellings
Recommendation: Approve with Conditions **Site** N
Visit:

11 Township Forum - Ward: Radcliffe - West **App No.** 60509

Location: Harper Fold Farm, Lavender Street, Radcliffe, Manchester, M26 3TJ
Proposal: Proposed indoor riding school/menage
Recommendation: Approve with Conditions **Site** N
Visit:

12 Township Forum - Ward: Whitefield + Unsworth - Unsworth **App No.** 60556

Location: Land Off Roach Bank Road, Bury, BL9 8RQ

Proposal: Full planning application for an industrial unit for a food production facility with ancillary offices, associated parking, service yards and landscaping

Recommendation: Approve with Conditions

Site Visit: N

Ward: Prestwich - Holyrood

Item 01

Applicant: Newpark Projects Ltd

Location: Land at rear of 315 Bury Old Road, Prestwich, Manchester, M25 1JA

Proposal: Erection of 4 no. dwellings

Application Ref: 59633/Full

Target Date: 07/03/2016

Recommendation: Approve with Conditions

Description

The site is located to the rear of 315 Bury Old Road, a building was previously used as a social club and is currently in use as an office. The application site is vacant with part of the building having been demolished in 2015. The site is accessed from Henry Street, which connects to Bury Old Road.

There is a single storey building to the north of the site, which is used for storage. There are residential properties to the north, northwest and south west of the site. The former club building, which is currently in use as an office is located to the north east. There is a garage colony to the south east with residential properties beyond.

The proposed development involves the erection of 4 dwellings, which would front onto Henry Street. The proposed dwellings would be two storeys in height with living accommodation in the roofspace. The proposed dwellings would be constructed from brick and render with concrete tile roof. 2 parking spaces per dwelling would be provided through driveways.

Relevant Planning History

44560 - Conversion of existing flat roof to pitched roof at 315 Bury Old Road, Prestwich. Approved with conditions - 4 July 2005.

58618 - Notification of flexible change of use of ground floor from public house (Class A4) to office use (Class B1a) for a period of up to two years with effect from 1st July 2015 at 315 Bury Old Road, Prestwich. Acceptance of change of use - 20 April 2015.

15/0220 - Demolition of part of building at 315 Bury Old Road, Prestwich. Case closed - 9 July 2015. Not expedient to pursue a planning application as the building has been removed and site cleared.

Publicity

The neighbouring properties were notified by means of a letter on 14 January 2016.

1 letter has been received from the occupiers of 15 Orange Hill Road, which have raised the following issues:

- The area attracts unsociable behaviour and fly tipping, so I am glad it is being developed.

1 letter has been received from the occupiers of 14 Henry Street, which has raised the following issues:

- There are a lot of houses being crammed into a very small space.
- Houses are being marketed as family houses with a single parking space. The majority of families have 2 cars in 3 bed houses.
- There is not enough space to park cars outside the houses and these would be parked further down Henry Street.
- Prefer to see less houses with more car parking near to the houses rather than out of

sight.

- The newly asphalted section of Henry Street should be marked as one way street as there would not be space for 2 cars to pass.

The neighbouring properties were notified of revised plans reducing the number of dwellings and re-planning the site on 21 September 2016 by means of a letter.

2 letters have been received from the occupiers of 8 and 14 Henry Street, which have raised the following issues:

- The proposal has greatly improved with the new design, layout and reduction of houses to 4 dwellings with more off-road parking.
- The issue of how Henry Street would be used has not been addressed. Is it intended for this to be a two way street?
- It would be difficult due to narrow nature of the street at the top near 315 Bury Old Road. Would any traffic calming measures be put in place?
- Support these plans as the development would be good for the area overall, but concerned about the stretch of road leading from the top of Henry Street.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - Comments will be reported in the Supplementary Report.

Drainage Section - Comments awaited.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Waste Management - No objections.

United Utilities - No objections, subject to the inclusion of conditions relating to foul, surface water drainage and SuDS.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
HT2/4	Car Parking and New Development
HT2/6	Replacement Car Parking
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Strategy on 20 May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for

the Borough. This will subsequently be incorporated into Bury's future Local Plan. In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The proposed development is located within the urban boundary and is bounded by an office and residential dwellings. As such, the proposed development would not conflict with the surrounding land uses. The site is within walking distance of public transport and as such, is in a sustainable location. The site contained a building, which has been demolished and the site cleared and is previously developed land. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The proposed development would 4 semi-detached dwellings, which would be two storeys in height with living accommodation in the roofspace. The proposed dwellings would be constructed from a mix of materials, including red brick, white render and a concrete roof tile. The proposed materials would match the surrounding area. The use of headers, cills, canopies, bay window and pike detail would add visual interest to the elevations. As such, the proposed dwellings would not be a prominent feature within the locality.

All of the proposed dwellings would have a rear garden, which would provide a suitable level of private amenity space. There would be space within the rear garden for bin storage. 1 metre high railings and gates would be provided at the front of the proposed dwellings and 2 metre timber fencing to the rear boundaries, which would be acceptable in the locality. Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case. The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows and 13 metres between a habitable room window and a two storey blank wall. For each additional storey in height, 3 metres should be added to the separation distance, i.e. there should be 23 metres between directly facing habitable room windows.

There would be 8.8 metres between the plot 1 and the storage building and 16 metres between the gable of plot 1 and the office building. Both of which would be in excess of the 6.5 and 16 metre aspect standards respectively.

There would be 37 metres between the proposed dwellings to the existing dwellings fronting onto Orange Hill Road. There would be at least 31 metres between the rear of the proposed dwellings and the properties that front onto Kenyon Lane. Both of which would be in excess of the 23 metre aspect standard.

Therefore, the proposed development would not have an adverse impact upon the residential amenity of the neighbouring properties.

Highways issues - Henry Street would be used to access the site and there are appropriate levels of visibility. A pedestrian footpath would be provided along Henry Street. The adjacent building is currently in use as an office and the proposed development would retain an area of land for use as a car park for the adjacent building. The comments from the Traffic Section will be reported in the Supplementary Report.

Parking - SPD11 states that the maximum parking standards are:

1 space per 35 square metres B1 office space

2 spaces per 3 bed dwelling

The proposed development would provide 8 parking spaces for the dwellings and 5 for the office use.

The proposed development would provide 8 parking spaces for the proposed dwellings and 9 spaces for the office use. As such, the proposed development would meet the maximum parking for the proposed dwellings and would over provide for the office use. As the office use is located close to Bury Old Road, the level of parking provision is considered to be acceptable as it would eradicate the need to park on Henry Street. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Response to objectors

- The issues relating to parking, density and layout have been addressed in the main report.
- A revised plan has been received, which includes pedestrian facilities on Henry Street.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered DA15149.1.001., DA15149.1.002., DA15149.1.003., DA15149.1.004., DA15149.1. - Axonometric, DA15149.1. - 3D perspective and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. No development shall commence unless and until:-

- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
- Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and; The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. All instances of contamination encountered during the development works which do not form part of an approved Remediation Strategy shall be reported to the Local Planning Authority (LPA) immediately and the following shall be carried out where appropriate:

- Any further investigation, risk assessment, remedial and / or protective works shall be carried out to agreed timescales and be approved by the LPA in writing;
- A Site Verification Report detailing the conclusions and actions taken at each stage of the works including validation works shall be submitted to, and approved in writing by, the LPA prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. Following the provisions of Condition 4 of this planning permission, where ground

gas remediation / protection measures are required, the approved Remediation Strategy must be carried out to the written satisfaction of the Local Planning Authority within approved timescales; and

A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason: To alleviate any possible risk associated with the production of landfill gas and ground gas in accordance with the recommendations of the Environment Agency and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

9. Foul and surface water shall be drained on separate systems.

Reason: To secure proper drainage and to manage the risk of flooding and pollution pursuant to Policy EN5/1 - New Development and Flood Risk and Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.

10. Prior to the commencement of the development a sustainable drainage management and maintenance plan for the lifetime of the development shall be submitted to and approved in writing by the Local Planning Authority. The sustainable drainage management and maintenance plan shall include as a minimum:

- The arrangements for adoption by an appropriate public body or statutory undertaker, or, management and maintenance by a Resident's Management Company; and
- Arrangements concerning appropriate funding mechanisms for its ongoing maintenance of all elements of the sustainable drainage system (including mechanical components) and will include elements such as ongoing inspections relating to performance and asset condition assessments, operation costs, regular maintenance, remedial works and irregular maintenance caused by less sustainable limited life assets or any other arrangements to secure the operation of the surface water drainage scheme throughout its lifetime.

The development shall subsequently be completed, maintained and managed in accordance with the approved plan.

Reason: To manage flooding and pollution and to ensure that a managing body is in place for the sustainable drainage system and there is funding and maintenance mechanism for the lifetime of the development pursuant to Policy EN5/1 - New Development and Flood Risk and Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.

11. Prior to the commencement of any development, a surface water drainage scheme, based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions shall be submitted to and approved in writing by the Local Planning Authority. The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards. In the event of surface water draining to the public surface water sewer, the pass forward flow rate to the public sewer must be restricted to 20 l/s.

Reason: To ensure a satisfactory means of drainage, promote sustainable development and to manage the risk of flooding and pollution pursuant to Policy EN5/1 - New Development and Flood Risk and Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.

12. A landscaping scheme shall be submitted to, and approved in writing by, the Local

Planning Authority prior to the commencement of the development. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

12. The car parking for the office use indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the commencement of the dwellings hereby approved.

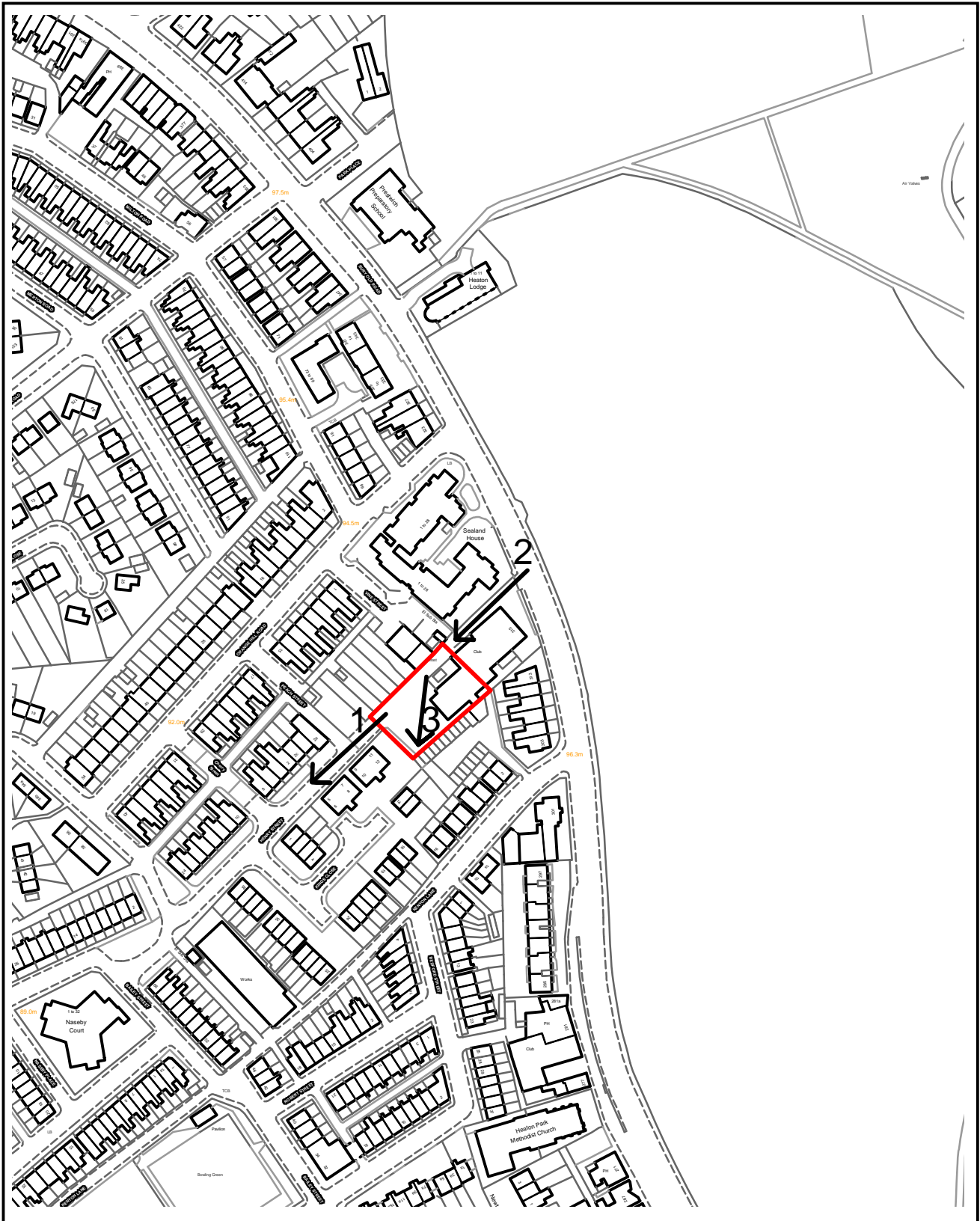
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

13. The car parking for the dwellings indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the dwellings hereby approved being first occupied.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



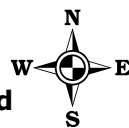
PLANNING APPLICATION LOCATION PLAN

APP. NO 59633

**ADDRESS: Land To The Rear of 315 Bury Old Road
Prestwich**

Planning, Environmental and Regulatory Services

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Bury
COUNCIL

59633

Photo 1



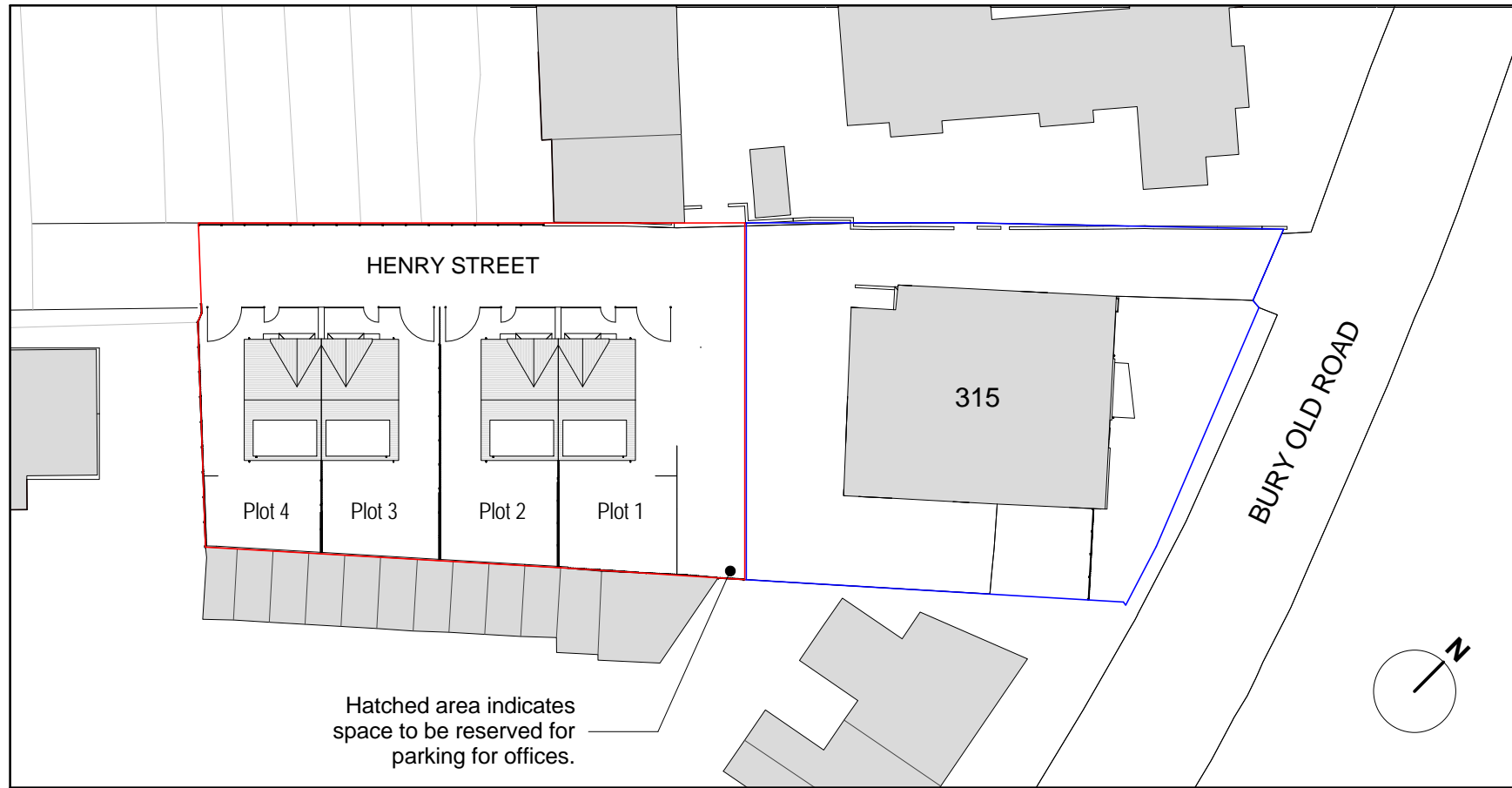
Photo 2



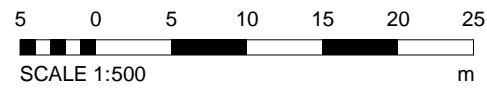
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Photo 3

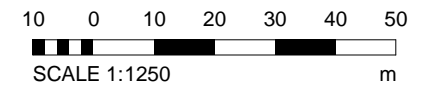




1 Site - Block Plan
1 : 500



2 Site - Location Plan
1 : 1250

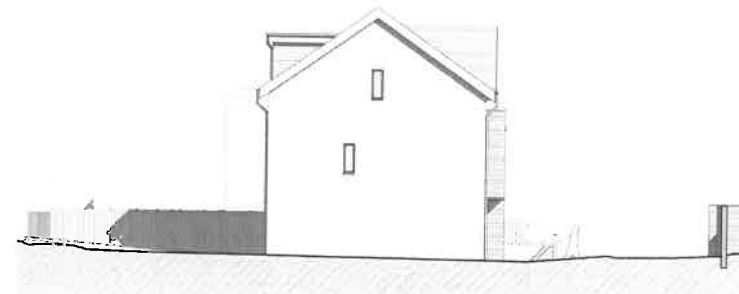


- Legend - Boundaries
- Site Boundary
 - Site Ownership

DEBTAL ARCHITECTURE		
72 Bury New Road, Manchester. M25 0JU. Tel: 0161 773 1630 office@debtalarchitecture.co.uk www.debtalarchitecture.co.uk		
CLIENT Newpark Projects Ltd.		
PROJECT 315 Bury Old Road Residential		
TITLE Site - Location and Block Plan		
PROJECT NO.	DRAWING NO.	REV.
DA15149.1.	001.	
STATUS PLANNING		
SCALE @ A3	DATE	DRAWN BY
As indicated	20 SEP 2016	SP
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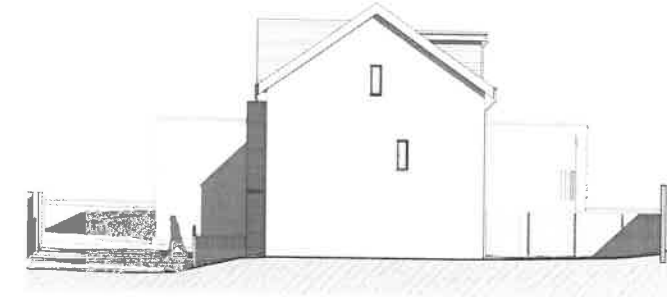
① **Front - Proposed**
1:100



② **Left - Proposed**
1:100



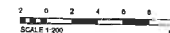
④ **Rear - Proposed**
1:100



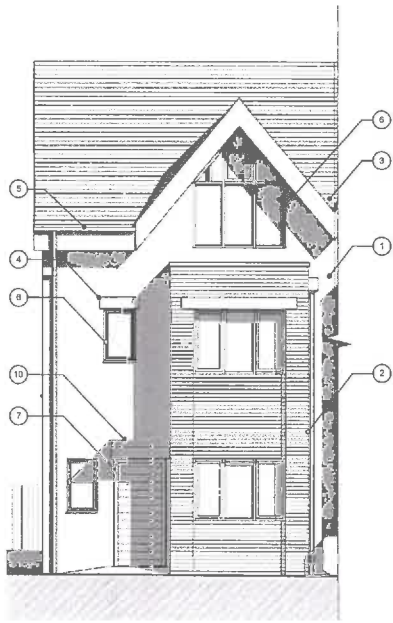
③ **Right - Proposed**
1:100



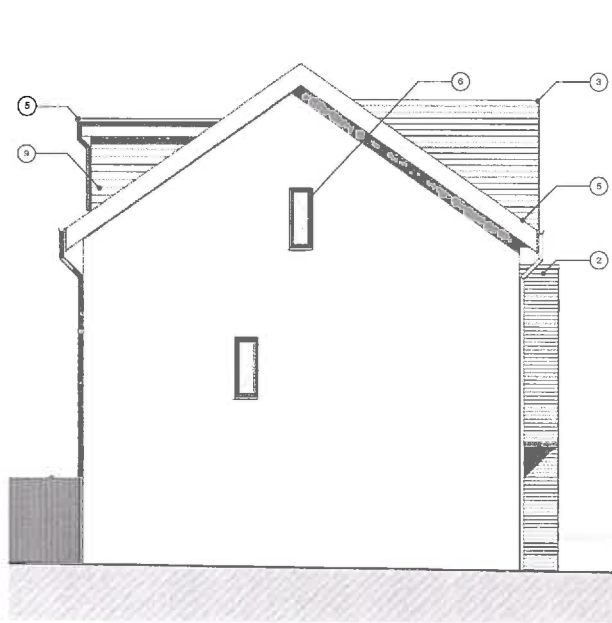
⑤ **Long Site Elevation Henry Street - Proposed**
1:200



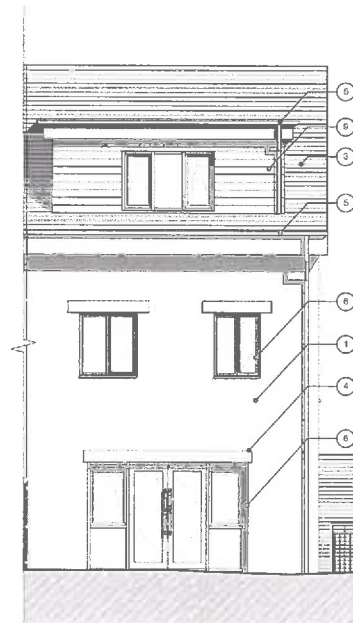
DEBTAL ARCHITECTURE	
17 Ivy Road, Warrington, Warrington, Cheshire, WA1 1JL, UK Tel: 01925 836100 www.debtal.co.uk	
Newpark Projects Ltd, 316 Bury Old Road Residential	
Proposed Site Elevations	
DA15149.1. 003.	
Drawn by As Indicated	Checked by CO SEP 2016



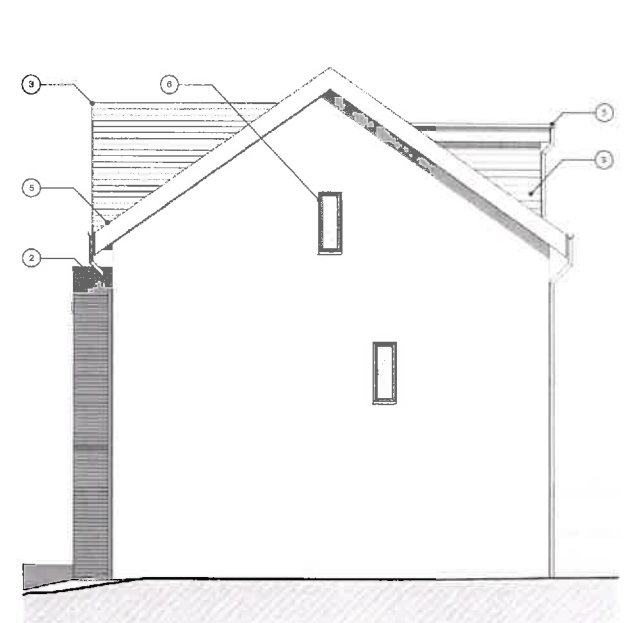
1 Typical Plot Elevation - Front
1:50



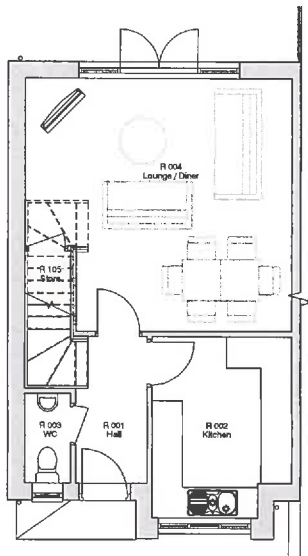
2 Typical Plot Elevation - Left
1:50



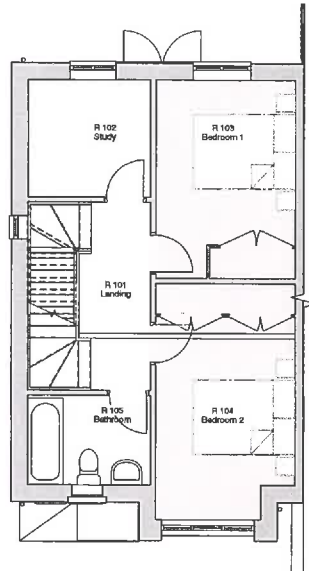
3 Typical Plot Elevation - Rear
1:50



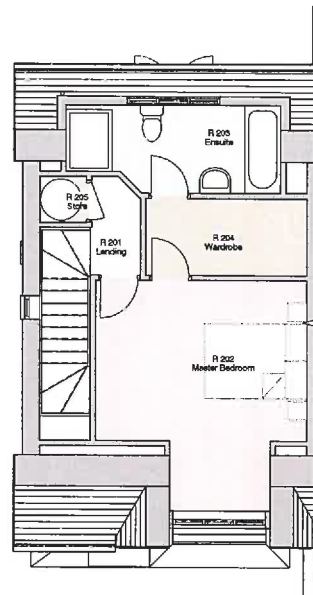
4 Typical Plot Elevation - Right
1:50



5 Level 0 - GA Proposed - Typical Unit
1:50



6 Level 1 - GA Proposed - Typical Unit
1:50



7 Level 2 - GA Proposed - Typical Unit
1:50



8 3D Axo - Typical Unit - Front



9 3D Axo - Typical Unit - Rear

- Note Block - Elevations - GA
- 1 External white rendered walling.
 - 2 External facing brick walling to be verified.
 - 3 Hard roofing Dark grey. Colour and material TBA.
 - 4 Cast stone lintels or similar. Colour TBA.
 - 5 Black uPVC lintels and window goods. Or similar.
 - 6 Dark grey framed uPVC windows / curtain walling. Or similar.
 - 7 Entrance door. Colour and material TBA.
 - 8 Dark grey uPVC rear patio windows and doors. Or similar.
 - 9 Dormer walls in hanging line to match roofing.
 - 10 Glazed canopy over entrance door.

DEBTAL ARCHITECTURE	
17 North Road, Newpark, Dublin 15, Ireland Tel: 01 856 8888 Fax: 01 856 8889 www.debtal.com	
Newpark Projects Ltd.	
315 Bury Old Road Residential	
Proposed Typical Unit - Plans and Elevations	
DA15149.1. 004.	
PLANNING	
1:50	20 SEP 2018 09
<small> 1. All drawings are the property of Debtal Architecture and are not to be used for any other project without the written consent of Debtal Architecture. </small>	

Ward: Ramsbottom and Tottington -
Ramsbottom

Item 02

Applicant: Morris Homes Ltd

Location: Redisher Works, Holcombe Old Road, Ramsbottom, Bury, BL8 4NQ

Proposal: Demolition of existing buildings and erection of 22 no. dwellings including works to culverted watercourse

Application Ref: 59715/Full

Target Date: 20/05/2016

Recommendation: Minded to Approve

Referral back to Planning Committee to add an additional condition.

This is a formal procedural matter required to add an additional condition to a development proposal that the Planning Control Committee has already determined that they were Minded to Approve.

The item is not being presented to the Planning Control Committee to reconsider the principle or the development proposals again, but it is requested that an additional planning condition is added.

Unitary Development Plan and Policies

EC2/2	Employment Land and Premises
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN5/1	New Development and Flood Risk
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/1	Atmospheric Pollution
EN7/5	Waste Water Management
EN8/1	Tree Preservation Orders
EN8/2	Woodland and Tree Planting
EN9/1	Special Landscape Areas
OL1/2	New Buildings in the Green Belt
RT2/2	Recreation Provision in New Housing Development
RT3/4	Recreational Routes
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Report

This planning application was presented to the Planning Control Committee on 26 July 2016

and it was agreed by Members that the application be Minded to Approve subject to the completion of a Section 106 agreement, relating to recreation provision.

Following the committee meeting, Greater Manchester Archaeological Unit (GMAU) have responded, albeit late, but nevertheless potentially important. GMAU have no objections to the proposal and have recommended the inclusion of a condition requiring a programme of archaeological recording works prior to the commencement of the groundworks. This is due to the close proximity of the site to potentially a priory from the late medieval period and a corn mill from 1246 and leach works from the late 19th century.

There is no certainty at this stage that such archaeological remains exist. However, there *may* be a potential and the NPPF and UDP Policy EN3/1 considers that where archaeology may exist, the Planning process can use development opportunities to excavate for and record findings, if any are found.

The suggested condition has been put to and accepted by the developer as a reasonable and relevant requirement.

The Section 106 agreement and its requirements have been agreed and will be completed by the date of the committee meeting.

Recommendation - As such the recommendation is to accept the additional condition listed as No. 28 below, as recommended by GMAU.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Minded to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered N257/P/LP01 #, N257/P/PL01 *, N257/P/HTALD/01, N257/P/HTALD/02, N257/P/HTAPP01, N257/P/HTAPP/02, N257/P/HTBRA/01, N257/P/HTBRA/02, N257/P/HTBRID/01, N257/P/HTBRID/02, N257/P/HTSEV/01, N257/P/HTSEV/02, N257/P/HTSTRA/01, N257/P/HTSTRA/02, N257/P/HTWILSA/01, N257/P/HTWILSA/02, N257/P/HTWIL/01, N257/P/HTWIL/02, F1-1, F1-2, F2-3, F3-4, J9A, 3963/300, 3963/301 A, M2672.01_B, MH.TO.23 - EXISTING DRAINAGE, MH.TO.23 - TOPOGRAPHICAL LAND SURVEY, BTC1026-TIP and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations,

together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

The Site Verification Report shall also include any plan (a "long-term monitoring and maintenance plan") for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan. The long-term monitoring and maintenance plan shall be implemented as approved.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. Notwithstanding the details shown indicatively on approved plan reference PL01, no development shall commence unless and until full details of the following have been submitted to and approved in writing by the Local Planning Authority:
 - Alterations at the interface between the unadopted site access and the adopted highway at Lumb Carr Road, including all necessary improvements to visibility and pedestrian facilities at this junction and the access to the adjacent public house;
 - Improvements to the existing carriageway and pedestrian facilities on the southerly side of the route between the adopted highway and the development site, including all appropriate remedial works at the junction with Bridleway No. 26, Ramsbottom;
 - Provision of the priority give-way arrangements proposed in the position indicated, including all necessary road markings and signage;
 - A scheme of traffic calming measures on the site access/unadopted estate road;
 - Provision of a street lighting scheme for the proposed private residential development to include all necessary improvements to lighting levels on the adopted highway at the junction of the site access with Lumb Carr Road and at

the interface with Bridleway No. 26, Ramsbottom/Holcombe Old Road;

- Swept path analysis of the proposed private estate roads to ensure a refuse collection vehicle can pass a private car and manoeuvre at the turning head.

The details subsequently approved shall be implemented in accordance with a programme to be agreed in writing with the Local Planning Authority.

Reason. No details have been provided and to ensure good highway design and maintain the integrity of the adopted highway, in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EN1/2 - Townscape and Built Design

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development.

7. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved in writing by the Local Planning Authority and shall confirm/provide the following:

- Access route for demolition/construction traffic from the highway network;
- Hours of operation and number of vehicle movements;
- Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site;
- Parking on site or on land within the applicant's control of operatives' and demolition/construction vehicles together with storage on site of construction materials.

The approved plan shall be adhered to throughout the demolition and construction periods and the measures shall be retained and facilities used for the intended purpose for the duration of both periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of construction materials.

Reason. No details have been provided and to mitigate the impact of the demolition/construction traffic generated by the proposed development on the adjacent residential streets and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period, in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EN1/2 - Townscape and Built Design

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development.

8. Before the development is commenced, details shall be submitted to and approved in writing by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.

Reason. No details have been provided and to ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

9. The visibility splays indicated on approved plan reference PL01 shall be implemented before the development is first occupied and subsequently maintained free of obstruction above the height of 0.6metres.

Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EN1/2 - Townscape and Built Design

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development.

10. The turning facilities on approved plan reference PL01 shall be provided before the

development is first occupied and shall subsequently be maintained free of obstruction at all times.

Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EN1/2 - Townscape and Built Design

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development.

11. A minimum hardstanding of 5.5m measured between the footway and any proposed garage doors shall be provided and thereafter maintained.
Reason. To enable a vehicle to stand clear of the highway whilst the garage doors are opened and to allow adequate space to maintain a vehicle clear of the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy EN1/2 - Townscape and Built Design
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development.
12. All trees to be retained on site shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the measures required by the British Standard are implemented and all measures required shall remain in situ until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
13. No trees, unless indicated otherwise on approved plan - N257/P/PL01 * - shall be felled, lopped or topped before or during the construction period without the previous written consent of the Local Planning Authority.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
14. Notwithstanding the plans submitted, a landscaping scheme, including the removal of all hornbeam and all wild cherry and replacement with bird cherry (*Prunus padus*) and guelder rose (*Viburnum opulus*) shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
15. No development shall commence until full details of a scheme for the eradication and/or control of Himalayan Balsam (*Impatiens Glandulifera*) is submitted to and approved in writing by the Local Planning Authority. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.
Reason. The scheme does not provide full details of the actual extent of Himalayan Balsam in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

16. No development, site clearance or earth moving shall take place or material or machinery brought on site until a method statement to protect the Holcombe Brook from accidental spillages, dust and debris has been submitted to and approved in writing by the Local Planning Authority. Only the approved measures shall be implemented in full prior to the commencement of the development and shall be maintained for the duration of the construction period in accordance with the approved details.
Reason. In order to ensure that no harm is caused to a feature of ecological value pursuant to Policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
17. No development, building work or demolition shall take place unless and until a desk study, scoping report for a watching brief and a program of archaeological works have been submitted to and approved in writing by the Local Planning Authority. These works shall be carried out in accordance with the approved scoping report unless otherwise agreed in writing by the Local Planning Authority.
Reason. The scheme does not provide full details of the actual archaeology present on site and to make a record of buildings and features of archaeological interest pursuant to Policies EN3/1 – Impact of Development on Archaeological Sites, EN3/2 – Development Affecting Archaeological Sites and EN3/3 – Ancient Monuments of the Bury Unitary Development Plan.
18. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the dwellings hereby approved being brought into use.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
19. No development shall commence unless or until details of a scheme for the disposal of surface water drainage have been submitted to and approved in writing by the Local Planning Authority. The proposed scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDs options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of the proposed maintenance arrangements must be provided. Only the approved scheme shall be implemented prior to occupation of the dwellings hereby approved.
Reason. No details of the drainage have been submitted and to ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.
20. The development hereby approved shall be carried out in accordance with the details contained in the Protected Species Survey Report (Bats), Ecology Services January 2016 (updated June 2016 version 2) Section 6.6.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
21. No development shall commence unless or until an external lighting strategy has been submitted to and approved in writing by the Local Planning Authority. The strategy shall:
- identify areas/features on site that are potentially sensitive to lighting for bats and any other species that may be disturbed;
 - show how and where the external lighting will be installed (through appropriate lighting contour plans) so that it can be demonstrated clearly that any impacts

on wildlife are negligible (in particular bats);

- specify frequency and duration of use.

The approved external lighting strategy shall be installed in accordance with the specifications and locations set out in the strategy.

Reason. The scheme does not contain full details of the lighting and to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

22. No infiltration of surface water drainage into the ground where adverse concentrations of land contamination is known or suspected to be present is permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to controlled waters. The development shall be carried out in accordance with the approval details.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
23. No foundation works shall be carried out unless or until, details of the piling or any other foundation designs using penetrative methods have been submitted to and approved in writing by the Local Planning Authority. The development shall only be carried out in accordance with the approved details.
Reason. To ensure that there is no unacceptable risk to groundwater arising from foundation designs and to secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
24. No development shall commence unless or until details of the proposed floor and road levels have been submitted to and approved in writing by the Local Planning Authority. The approved details shall be fully implemented and subsequently maintained, in accordance with the timing/phasing arrangements embodied within the approved scheme.
Reason. To reduce the risk of flooding to the proposed development and future users pursuant to Policy EN5/1 - New Development and Flood Risk of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.
25. No development shall commence unless or until a scheme to open and divert Holcombe Brook through the development site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the channel dimensions, line, levels, associated structures and features to convey potential overland flood flows to re-enter the Brook in accordance with the principles shown on drawing No 3963/App K/A. The approved details shall be fully implemented and subsequently maintained, in accordance with the timing/phasing arrangements embodied within the approved scheme.
Reason. To reduce the risk of flooding to the proposed development and future users pursuant to Policy EN5/1 - New Development and Flood Risk of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.
26. No development shall commence unless or until a scheme to divert the tributary culverted watercourse through the development site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the line, levels and structures associated with the new channel. The approved scheme shall be fully implemented and maintained in accordance with the timing/phasing arrangements embodied within the approved scheme.

Reason. To reduce the risk of flooding to the proposed development and future users pursuant to Policy EN5/1 - New Development and Flood Risk of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.

27. No demolition of the culvert shall occur during the hibernation season, unless or until the culvert has been visually assessed for hibernating bats by a suitable qualified bat consultant and the findings and a scheme of mitigation submitted to and approved in writing by the Local Planning Authority. Should bats be found inhabiting the culvert, no demolition shall occur unless the Local Planning Authority has been supplied with:

- a licence issued by Natural England pursuant to Regulation 53 of the Conservation of Habitats and Species Regulations 2010 authorising the specified activity/development to go ahead; or
- a statement in writing from the relevant licensing body to the effect that it does not consider that the specified development will require a licence.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to Policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

28. No development, demolition or soft-strip shall take place until the applicant or their agents or their successors in title have secured the implementation of a programme of archaeological works. The programme is to be undertaken in accordance with Written Schemes of Investigation (WSIs) submitted to and approved in writing by the local planning authority. The WSI shall cover the following:

1. A phased programme of archaeological fieldwork to include:
 - a historic building survey
 - a programme of archaeological evaluation trenching
 - (dependent upon the evaluation) targeted open area excavation
2. A programme for post investigation assessment to include,
 - analysis of the site investigation records and finds
 - production of a final report
3. Provision for publication and dissemination of the analysis and report on the site investigation.
4. A scheme for presentation and commemoration of the site's heritage
5. Provision for archive deposition of the report, finds and records of the site investigation.
6. Nomination of a competent person or persons/organisation to undertake the programme set-out within the approved WSI.

Reason. In accordance with NPPF Section 12, Paragraph 141 - To record and advance understanding of heritage assets impacted on by the development and to make information about the heritage interest publicly accessible and pursuant to Policies EN3/1 – Impact of Development on Archaeological Sites, EN3/2 – Development Affecting Archaeological Sites and EN3/3 – Ancient Monuments of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Ward: Prestwich - St Mary's

Item 03

Applicant: Suzanne Stone

Location: 1 Glenmere Close, Prestwich, Manchester, M25 3BH

Proposal: Change of use from 6 bed HMO to 8 bed HMO with creation of additional car parking space and 6 no. cycle spaces

Application Ref: 59951/Full

Target Date: 02/06/2016

Recommendation: Approve with Conditions

Description

The site contains a detached dwelling and is located off a private drive, which serves the petrol station and 4 dwellings. The dwelling is constructed from red brick with a slate roof and there is a detached garage. The site is accessed from a single track access, which leads from the adjacent petrol station, which connects to Bury New Road.

There are residential properties to the north, west and east. Beyond the residential properties, there is a petrol station to the east, M60 motorway to the north, hotel and hospital to the south and wooded area to the west.

There has been a householder application for a single storey extension to link the garage with the main house and a first floor extension above the existing porch was approved in February 2016. The relevance of this is explained below.

The proposed development involves the change of use of the dwelling to a 8 bed house of multiple occupation (HMO). The proposed development would provide 7 car parking spaces and 6 cycle spaces.

Relevant Planning History

07523/78 - Change of use service bays and associated facilities to training school and underground fuel storage tank. Elevational alterations at Paddock Service Station, Bury New Road, Prestwich. Approved with conditions - 20 September 1979.

56104 - Conversion of detached dwelling house into 5 no. apartments. Replacement of existing hip roof to mono-pitched roof to all elevations and demolition of existing garage and creation of 5 car parking spaces at 1 Glenmere Close, Prestwich. Refused - 5 June 2013.

56668 - Conversion of detached dwelling house into 4 no. apartments. Replacement of existing hip roof to mono-pitched roof to all elevations, demolition of existing garage, alterations to doorway of existing conservatory and creation of 4 no. car parking spaces (resubmission) at 1 Glenmere Close, Prestwich. Refused - 6 January 2014. Appeal dismissed - 28 May 2014.

59180 - Single storey side extension to link existing garage with main house to increase existing 6 bed HMO to 8 bed HMO; New roof to garage and creation of 2 no. new car parking spaces and 6 no. new bicycle storage spaces at 1 Glenmere Close, Prestwich. Withdrawn - 4 November 2015.

59458 - Single storey side extension to link existing garage with main house; First floor extension above existing porch at 1 Glenmere Close, Prestwich. Approved with conditions - 1 February 2016.

Publicity

The neighbouring properties (3, 5, 7 Glenmere Close, Prestwich Hospital, Premier Inn, TGI Fridays, Lowry Ward, Harrop House, Meredale, British Petroleum, Bury New Road) were notified by means of a letter on 8 April 2016.

3 letters have been received from the occupiers of 3, 5 and 7 Glenmere Close, which have raised the following issues:

- The property is a family home and has never been in multiple occupancy.
- The other properties are all family houses.
- There have been many applications for change of use, which have been turned down.
- Extra traffic down a private access is a concern.
- 8 tenants with 8 cars - where will they park?
- We have experienced problems with missed bin collections due to people parking.
- The garage forecourt has problems with traffic congestion at the entrance.
- The change of the garden to a drive is a concern as the retaining wall was not designed for trafficked loads.
- Will trees have to be removed as part of the works to create a driveway?
- Issue of increased noise due to the increase in the number of residents.
- The water supply would not be suitable for an 8 bed HMO as there are problems currently.
- Where would visitors park? How would the emergency services gain access?
- The occupiers of No. 3 Glenmere Close own the access road and no permission will be granted by us to connect to or cross any services.
- While properties have a right of access across the land, they may not have the right to run a business from there and the associated works.
- The property operates with a cess pit which is not big enough to cater for the house currently, let alone adding more bathrooms.
- Water pressure is a big issue currently.

The neighbouring properties and objectors were notified of revised plans in relation to car parking by means of a letter on 5 October 2016.

2 letters have been received from the occupiers of 3, 7 Glenmere Close, which have raised the following issues:

- The occupiers of No. 3 Glenmere Close own the access road and no permission will be granted by us to connect to or cross any services.
- While properties have a right of access across the land, they may not have the right to run a business from there and the associated works.
- The property operates with a cess pit which is not big enough to cater for the house currently, let alone adding more bathrooms.
- Water pressure is a big issue currently.
- One of the main issues is parking. There is not enough space to accommodate all the cars from the residents and they will have visitors from time to time.
- Refuse collection is a problem as 8 bins would fill up the roadway.
- The revised plan would increase the effective height of the retaining wall with no consultation with the occupiers of the adjacent property.
- The original wall is 1 metre high and the proposed higher fence/wall would be 1.65 metres, which is approaching the limit of acceptability. If it is made any higher, the wall would create a tunnel effect.
- The plan submitted is misleading and any parking in that area is not feasible and turning circles are not accurate.
- If the parking is not realistic, this will create parking problems for existing residents.
- We have to keep pointing out with all these plans and amendments that the planning authority keep agreeing to that the property is not suitable for so many cars.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections, subject to the inclusion of conditions relating to car parking and turning facilities.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/4	Conversions
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/5	Waste Water Management
OL5/2	Development in River Valleys
RT2/2	Recreation Provision in New Housing Development
S4/4	Car Showrooms, Car Sales Areas and Petrol Filling Stns
HT2	Highway Network
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The change of use from a dwelling to a 6 bed HMO is permitted development and as such, its use as a HMO in principle is acceptable. The application seeks to increase the density to 8 bed HMO and therefore, the issues is what the additional density creates.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site is located within the urban area and in a residential area. As such, the proposed development would not conflict with the surrounding land uses and would be located in a sustainable location with good access to public transport and services. The site contains an existing dwelling and as such would be previously developed land. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

Design and layout - Policy H2/4 states that applications for the conversion of a building into a house of multiple occupation will be considered with regard to the following:

- the effect on the amenity of neighbouring properties through noise, visual intrusion, the position of entrances, impact of parking areas, extensions and fire escapes;
- the general character of the area and the existing concentration of flats;

- the amenity of occupants;
- the effect on the streetscene of any changes to the external appearance of the building;
- car parking and servicing requirements.

The extensions proposed as part of this application have been approved as part of the householder application (59458) in February 2016 and could be implemented under that consent. As such, the proposed extensions have been assessed in terms of design and impact upon the streetscene in that application and were found to be acceptable.

The proposed development would utilise the same entrance as the existing dwelling house and the proposed development would still retain the appearance of a dwelling house. As such, the proposed development would not impact upon the external appearance of the building or the general character of the area. Therefore, the proposed development would not be a prominent feature in the streetscene and would be in accordance with Policies EN1/2 and H2/4 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and would be relevant in this case.

There would not be any windows in front or side elevation of the proposed extension and the proposed development would not lead to overlooking.

The proposed side extension would be located between the existing garage and the main dwelling. The proposed opening in the side elevation would relate to a bedroom and would overlook the existing garden of the property. The window in the northern elevation would relate to a bathroom window and would be obscure glazed. The proposed bedroom window on the southern elevation would overlook the parking area. Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties and would be in accordance with the aspect standards in SPD6.

Noise - The General Permitted Development Order 2015 allows the change of use from a dwelling to a 6 bed HMO as permitted development and the proposed development would provide a 8 bed HMO. The proposed development would not generate a significant level of noise when compared to a 6 bed HMO and the proposed level of noise would be broadly similar to that of a detached dwelling and what is permitted. As such, the proposed development would not have an adverse impact upon residential amenity in terms of noise and would be in accordance with Policies H2/4 and EN7/2 of the Bury Unitary Development Plan.

Highway issues - The proposed development would be accessed from Bury New Road through the petrol station and Glenmere Close. Whilst this access is unusual, the Planning Inspector confirmed in an appeal in May 2014, that there were no objections to its use. The agent has submitted additional information, which increased the level of parking at the site and states that the level of car ownership amongst occupiers in HMOs is low. 5 tenancies have been agreed for this site and 4 of which do not have access to a car. The site has good access to public transport with bus stops nearby and there is a Metrolink station in Prestwich town centre. In addition, 6 cycle parking spaces would be provided next to the bin store. The Traffic Section has no objections to the proposal, subject to the inclusion of conditions relating to car parking and turning facilities. Therefore, the proposed development would not be detrimental to pedestrian and highway safety and would be in accordance with Policies H2/4 and EN1/2 of the Bury Unitary Development Plan.

Parking - There is no specific car parking standards for a HMO in SPD11. However, SPD 11 states that the maximum parking standards for a residential development is 1 space per 1 bed unit, which would equate to 8 parking spaces.

Revised plans have been submitted, which indicate that the proposed development would provide 7 parking spaces within the curtilage of the existing dwelling. It is acknowledged that a HMO use tends to have a lower level of car usage than separate residential units. As

such, it is considered that the parking provision of 7 spaces and the provision of 6 cycle spaces, which would be 1 less than that required for market housing would be acceptable in this instance. The Traffic Section has no objections to the proposal, subject to the inclusion of conditions relating to car parking and turning facilities. Therefore, the proposed development would be in accordance with Policy H2/4 and HT2/4 of the Bury Unitary Development Plan and SPD11.

Response to objectors

- There is a permitted change of use from a dwelling to a 6 bed HMO and from a 6 bed HMO to a dwelling.
- Each application is assessed on its own merits.
- The issues relating to traffic, access, noise, parking have been addressed in the main report.
- The issues relating to rights of access across the land is a private matter and is not a material planning consideration.
- The issue relating to the structure of the retaining wall would be covered by Building Regulations and as such, is not a material planning consideration.
- The issues relating to water pressure are a matter for United Utilities and the prevention of water supply is a matter under the Water Resources Act.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Location plan, Site plan, PL-0357-GA-101, PL-0357-GA-102 A, PL-0357-GA-501, PL-0357-GA-502, PL-0357-GA-505 B and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The external finishing materials for the proposal hereby approved shall match those of the existing building.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. Notwithstanding the details indicated on submitted plan reference PL-0357-GA-505 Revision C, the car parking indicated on approved plan reference PL-0357-GA-505 Revision B shall be surfaced, demarcated and made available for use prior to the use hereby approved commencing and thereafter maintained at all times.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

5. The turning facilities on approved plan reference PL-0357-GA-505 Revision B shall be provided before the use hereby approved commences and the areas used for the manoeuvring of the vehicles shall subsequently be maintained free of obstruction at all times.

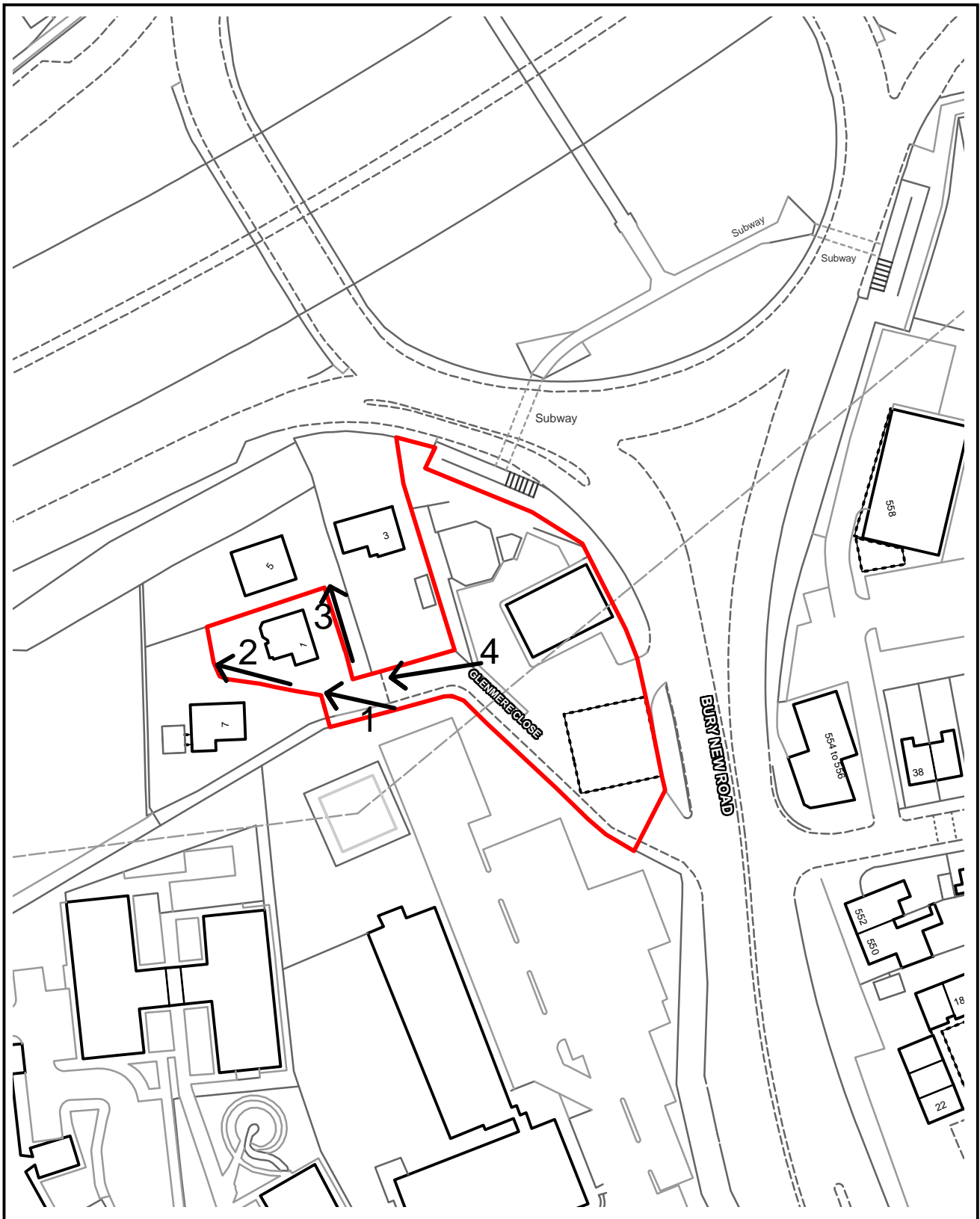
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Policy H2/4 - Conversions of the Bury Unitary Development Plan.

6. The cycle parking indicated on the approved plans shall be installed and made available for use prior to the use hereby approved commencing and thereafter maintained at all times.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59951

**ADDRESS: 1 Glenmere Close
Prestwich**

Planning, Environmental and Regulatory Services

(C) Crown Copyright and database right (2015). Ordnance Survey 100023063.



59951

Photo 1



Photo 2



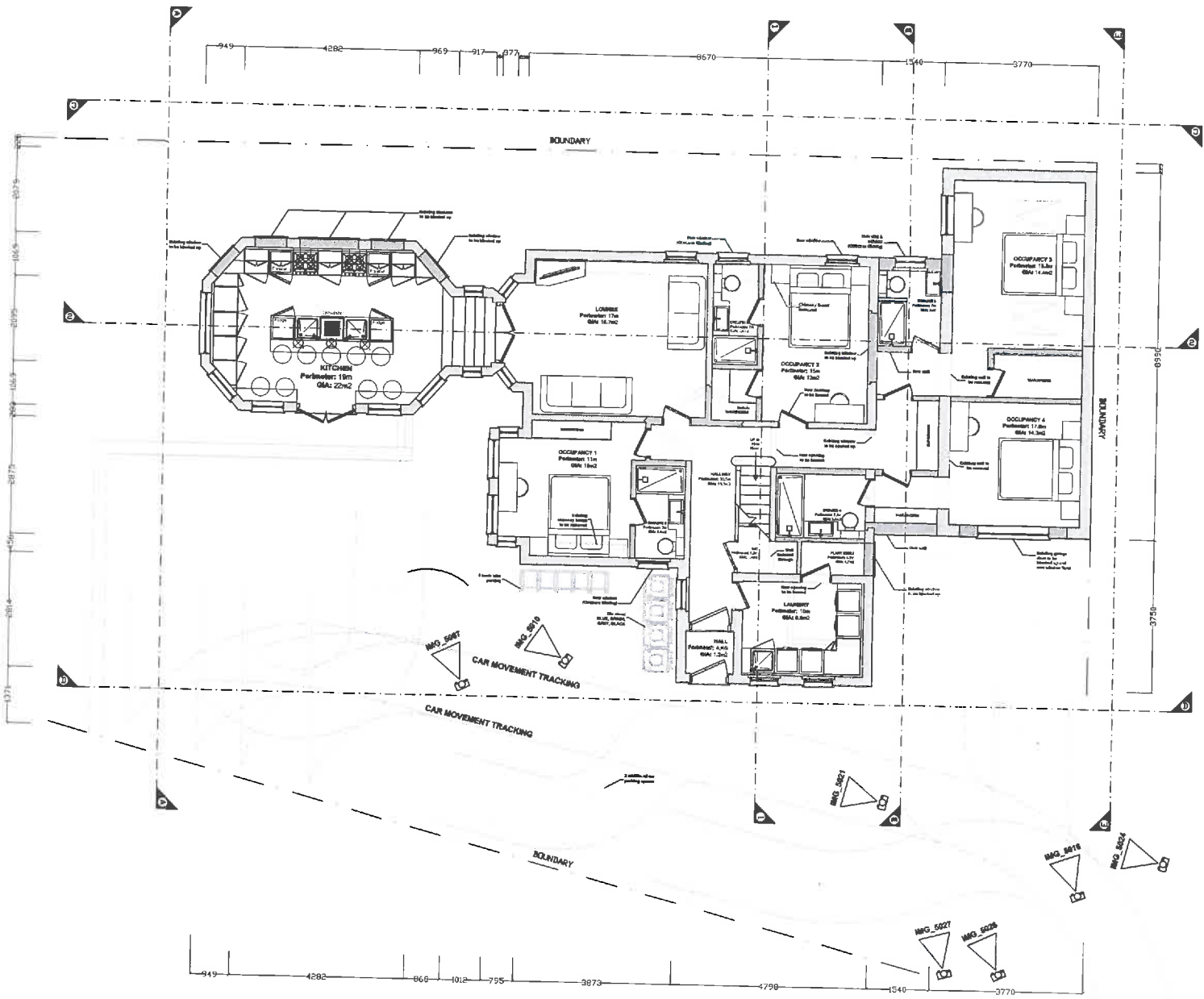
59951

Photo 3



Photo 4





IF IN DOUBT, ASK

NOTES

1. NO NEW SCALE, USE VERTICAL AND SITE DIMENSIONS ONLY.
2. ALL DIMENSIONS TO BE TAKEN ON SITE PRIOR TO MANUFACTURE OF ANY ELEMENT OR COMPONENT.
3. ALL WORKS TO BE IN ACCORDANCE WITH ALL CURRENT EXTENSIVE AND RELEVANT CLAUSES OF BUILDING REGULATIONS, BOSTON STANDARDS, CODES OF PRACTICE AND THE RELEVANT CODES OF PRACTICE.
4. ANY DISCREPANCIES TO BE NOTIFIED TO SUPERVISOR IMMEDIATELY.
5. ALL PIPES, BRACKETS, SUPPLIES, CABLE TRAYS, SERVICES, ETC. TO BE ACCURATELY LOCATED ON SITE PRIOR TO ANY DEMONSTRATION, INSTALLATION OR BUILDING.
6. ALL FLOOR LEVELS SHOWN ARE INDICATIVE - TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.
7. STRUCTURAL ENGINEERING DETAILS TO SUPERSEDE DRAWING INFORMATION.
8. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT BUILDING REGULATIONS, BOSTON STANDARDS, CODES OF PRACTICE AND THE RELEVANT CODES OF PRACTICE.
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12. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT BUILDING REGULATIONS, BOSTON STANDARDS, CODES OF PRACTICE AND THE RELEVANT CODES OF PRACTICE.

PROPOSED GROUND FLOOR PLAN

Revision / Comments

A. The configuration of roadway and first floor landing - removal of angular walls.

Full to accompany & submitted over paper.

fillét 

7 Marlborough Road, Chestnut M32 3AF
Tel: 01273 833333

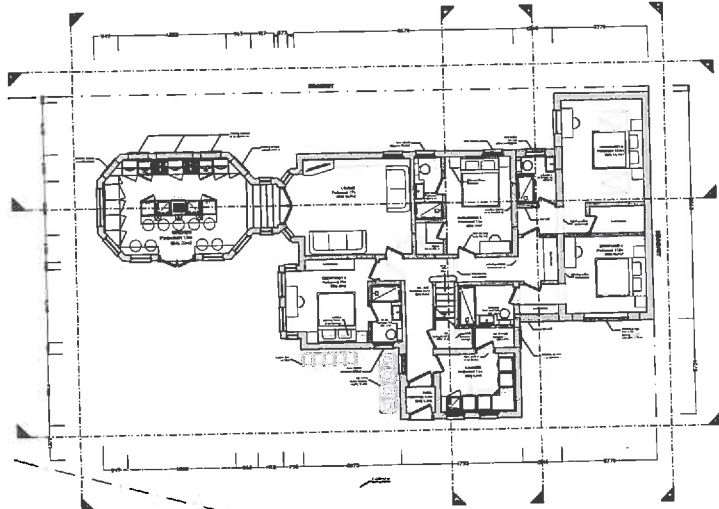
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 Location: **Walsby**
 Client: **Walsby**

Client: **Mrs S. Evans**

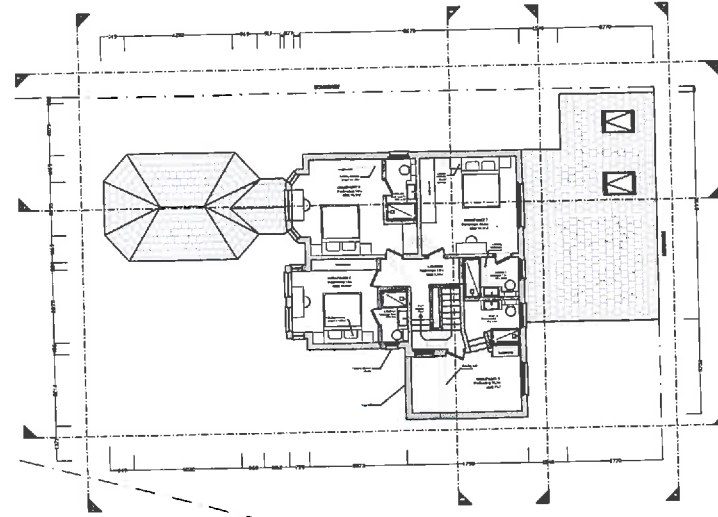
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Drawn by: **TJB** Date: **20/05/2013** Scale: **1:100** Check: **PLB**

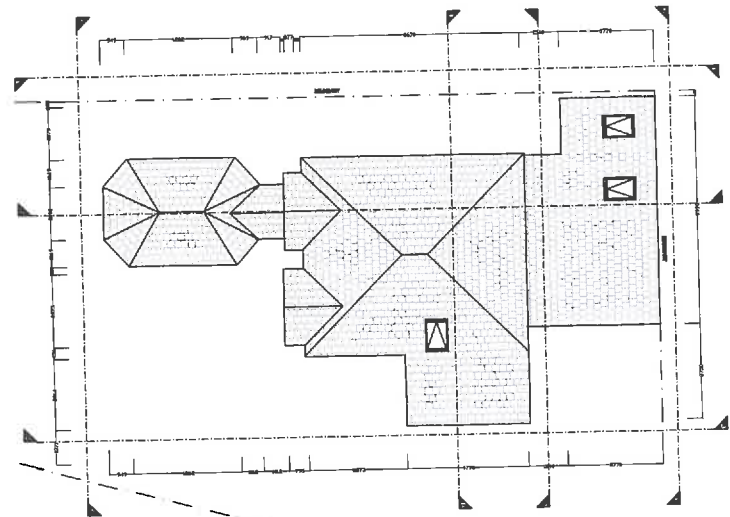
Reviewed by: **TJB** Drawing No.: **PL-0357-GA-505** Rev: **B**



PROPOSED GROUND FLOOR PLAN
Scale 1:50 (A1) or 1:100(A3)




PROPOSED FIRST FLOOR PLAN_revA
Scale 1:50 (A1) or 1:100(A3)
NOT FOR ISSUE

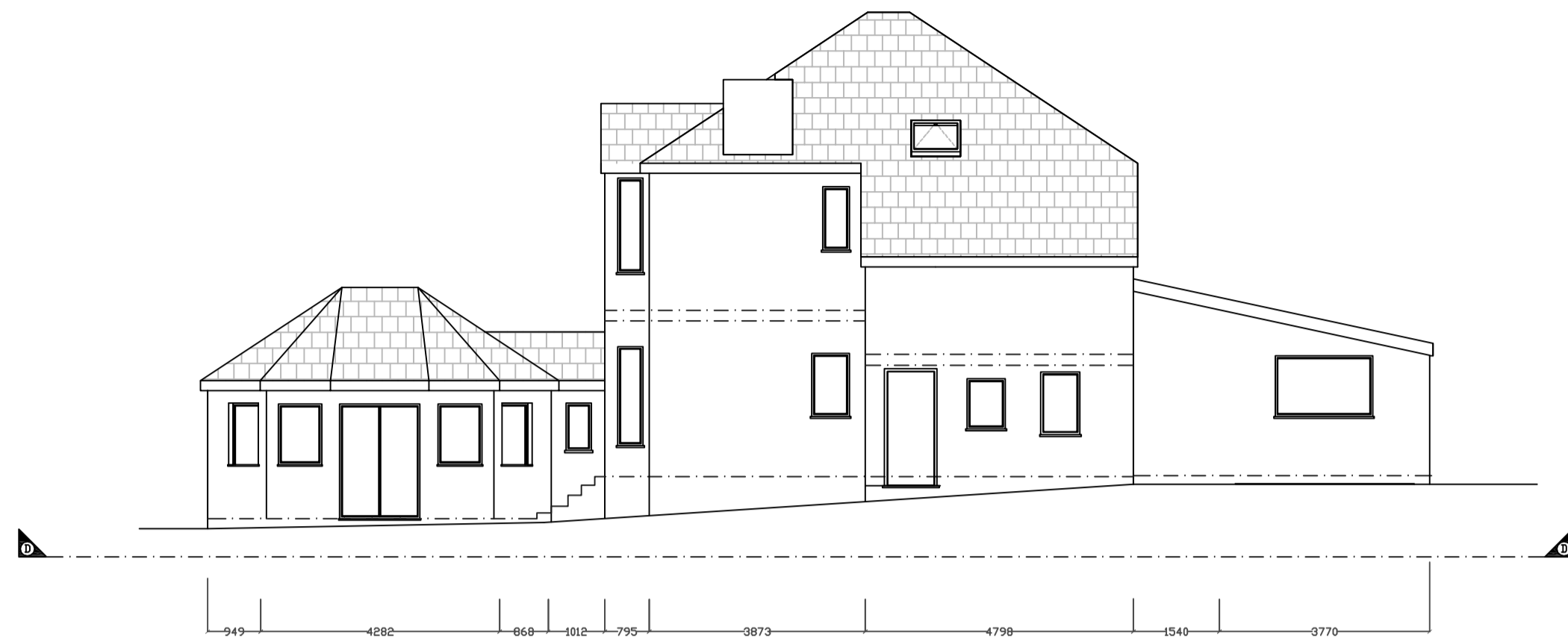


PROPOSED ROOF PLAN
Scale 1:50 (A1) or 1:100(A3)

IF IN DOUBT ASK.
NOTES

1. ALL NEW SCALE, LINE WEIGHTS AND SITE BOUNDARIES ONLY.
2. ALL PROVISIONS TO BE TAKEN ON SITE PRIOR TO MANUFACTURE OF ANY ELEMENT OR COMPONENT.
3. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT REGULATIONS AND RELEVANT CLASSES OF BUILDING REGULATIONS, WITHIN STIPULATED CODES OF PRACTICE AND THE DIRECTIVES GIVEN BY LEGISLATION.
4. ANY PROVISIONS TO BE NOTIFIED TO COMPETENT OFFICE, LOCAL AUTHORITY OFFICES.
5. ALL WORK TO BE ACCURATELY LOCATED ON SITE PRIOR TO ANY CONSTRUCTION, EXCAVATION OR INSTALLATION WORK TO ALL SURFACES AND FINISHES INDICATED.
6. ALL FLOOR LEVELS SHOWN AS INDICATIVE - TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.
7. STRUCTURAL CHECKS ARE DEPENDANT ON SUPPLIER DRAWING INFORMATION.
8. ALL FINAL BUILDING WORKS TO BE IN ACCORDANCE WITH RELEVANT BUILDING REGULATIONS.
9. FOR FURTHER DETAILS REFER TO CORRESPONDING BUILDING REGULATIONS THROUGH SET.
10. FLOOR LEVELS APPROXIMATE ONLY.
11. ALL DIMENSIONS - ALONG DIMS FOR TOLERANCE.
12. UTILITIES OF SURROUNDING BUILDINGS INDICATIVE ONLY. INFORMATION TAKEN FROM CONFORMANCE SURVEYS AND SET. PHOTOGRAPHS NOT SURVEYED.

Particulars	Comments		
A	The construction of highway and fire barrier levelling - removal of existing walls		
	Work to accompany it extended over porch		
			
7 Marlborough Road, Cheshire M32 3AF Tel: 01273 830000 www.fillét.co.uk			
Project:	Job Number: 00057		
Designed by:	Checked by:		
Drawn by:	Scale:		
Drawn Title:	Drawing Size:		
Proposed Plans	A1		
Drawn by:	Scale:	Scale:	Scale:
TJB	PL-0357-GA-501		



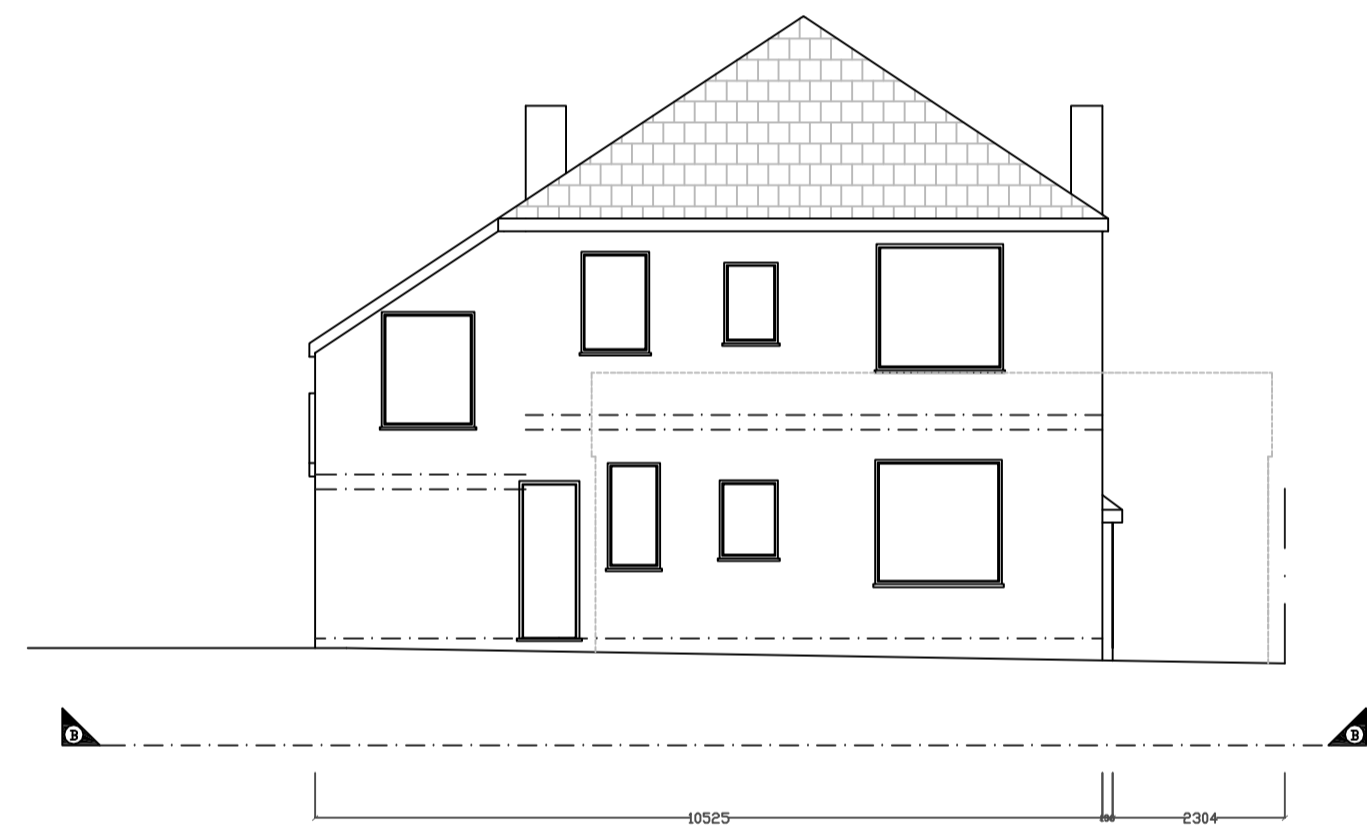
PROPOSED ELEVATION D:D
Scale 1:50 (A1) or 1:100(A3)



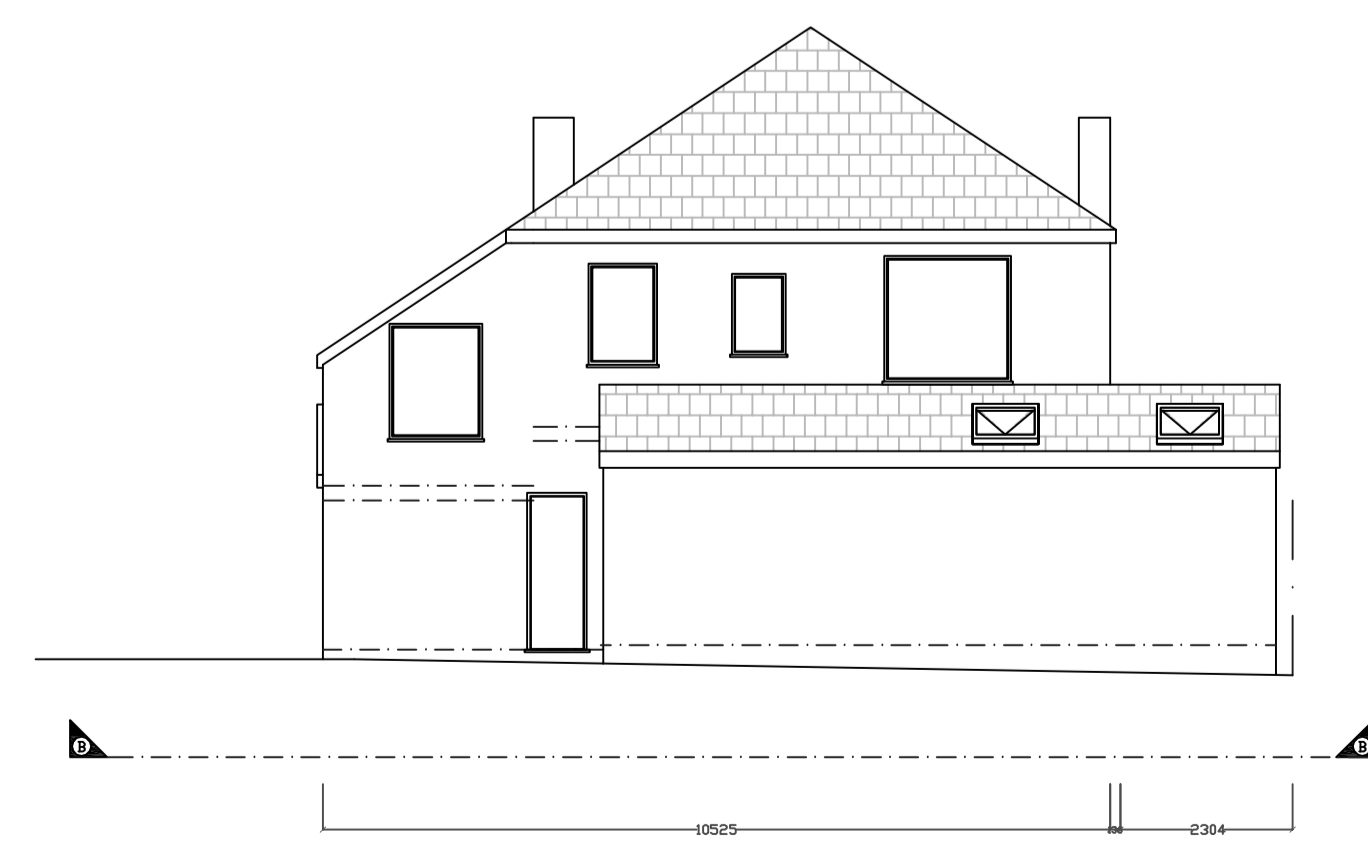
PROPOSED ELEVATION A:A
Scale 1:50 (A1) or 1:100(A3)



PROPOSED ELEVATION C:C
Scale 1:50 (A1) or 1:100(A3)



PROPOSED ELEVATION B:B
Scale 1:50 (A1) or 1:100(A3)



PROPOSED ELEVATION B:B
Scale 1:50 (A1) or 1:100(A3)

IF IN DOUBT, ASK.

NOTES

1. DO NOT SCALE, USE WRITTEN AND SITE DIMENSIONS ONLY.
2. ALL DIMENSIONS TO BE TAKEN ON SITE PRIOR TO MANUFACTURE OF ANY ELEMENT OR COMPONENT
3. ALL WORKS TO BE IN ACCORDANCE WITH ALL CURRENT EDITIONS AND RELEVANT CLAUSES OF BUILDING REGULATIONS, BRITISH STANDARDS, CODES OF PRACTICE AND HSE DIRECTIVES EVEN IF UNSTATED.
4. ANY DISCREPANCIES TO BE NOTIFIED TO SUPERVISING OFFICER
5. ALL PIPES, DRAINS, CABLE DUCTS, SERVICES, ETC TO BE ACCURATELY LOCATED ON SITE PRIOR TO ANY EXCAVATION, DEMOLITION OR DRILLING. MAKE GOOD TO ALL SURFACES AND FINISHES DISTURBED.
6. ALL FLOOR LEVELS SHOWN AS INDICATIVE - TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS
7. STRUCTURAL ENGINEERS DETAILS TO SUPERSEDE DRAWN INFORMATION
8. ALL FINAL BUILDING WORKS TO BE IN ACCORDANCE WITH RELATIVE BUILDING REGULATIONS GUIDANCE.
9. FOR FURTHER DETAILS REFER TO CORRESPONDING BUILDING REGULATIONS DRAWING SET.
10. FLOOR LEVELS APPROXIMATE ONLY.
11. ALL DIMENSIONS - ALLOW 150mm FOR TOLERANCE
12. OUTLINES OF SURROUNDING BUILDINGS INDICATIVE ONLY. INFORMATION TAKEN FROM ORDNANCE SURVEY EXTRACTS AND SITE PHOTOGRAPHS. NOT SURVEYED.

Revision	Comments
A	Wall to occupancy 8 extended over porch



design through creativity
logic and communication

7 Marlborough Road, Cheshire M33 3AF
Tel: 07732410276
email: tjb@freshdesignbase.com

Project: 1 Glemere Close, Prestwich, Manchester M25 3BH
Job Number: 00357

Client: Mrs S. Stone

Drawing Title: Proposed Elevations
Drawing Size A1: 1:100

Drawn	Date	Scale	Scale	Scale
TJB	JUNE2015	1:100	1:100	FILE

Reviewed by	Drawing No.	Rev.
TJB	PL-0357-GA-502	-

Ward: Ramsbottom + Tottington - Tottington

Item 04

Applicant: Mr A Whittle

Location: The Roundhouse, Bradshaw Road, Walshaw, Tottington, Bury, BL8 3PN

Proposal: Variation of condition no. 2 (approved drawings) of planning permission 54249: This decision relates to proposed plans (received on 12 July, 2016) and the development shall not be carried out except in accordance with the drawings hereby approved.

Application Ref: 60156/Full

Target Date: 02/08/2016

Recommendation: Approve with Conditions

Description

The application site was formerly owned by United Utilities and there was a redundant water storage tower and tank. The tank was a circular building of 8.2 metres diameter and was 3.8 metres in height including the railings. Planning permission was granted in September 2011 to convert the building into a bunkhouse for hikers and cyclists. The building was extended vertically and a pitched roof was constructed, taking the total height to 6.5 metres. Under the approved scheme, residential accommodation was to be provided at ground floor with living accommodation (kitchen and living room) at first floor level.

There are three mature trees within the site, which is at a lower level than the surrounding land (approximately 1 - 2 metres). The site is bounded by timber post and rail fencing. There is an access from Bradshaw Road, which is directly at the back of the roadside.

The site is surrounded by open fields. There is a farm complex some 120 metres to the north and residential dwellings are some 130 metres to the south of the site.

The proposed development involves the variation of the condition relating to approved plans to allow the following amendments:

- additional hardstanding area, using gravel;
- two storey extension at the rear;
- Amendments to position of windows at ground floor level.

Relevant Planning History

52472 - Removal of redundant water storage tank/tower; erection of 4 no. stable and storage block and midden at land to the south west side of Bradshaw Road, Tottington. Refused - 12 July 2010

54026 - Change of use of water storage tower to form 8 bed bunkhouse accommodation at Water Tower, land off Bradshaw Road, Affetside. Withdrawn - 22 July 2011.

54249 - Conversion of water storage tower to form 8 bed bunkhouse accommodation at Water Tower, land off Bradshaw Road, Affetside. Approved with conditions - 21 September 2011.

60157 - Removal of condition no. 8 of planning permission 54249 (conversion of water storage tower to form 8 bed bunkhouse accommodation) to allow the development to be used as a dwelling at the Roundhouse, Bradshaw Road, Walshaw. Received - 7 June 2016.

Publicity

The neighbouring properties were notified by means of a letter on 9 June 2016

2 letters have been received from the occupiers of 27, 51 Bradshaw Road, which have raised the following issues:

- The building has been built on Green Belt land. What impacts will this have on future building in the area, will it set a precedent?
- The building was never built as a bunkhouse. The Council passed this development as a bunkhouse and not as a dwelling. How can builders be allowed to create what they want, and then apply to vary the condition to a new set of plans.
- My strong concern is road safety. The traffic has no regard for the 30mph limit. Within the last few weeks, the wall in front of this building has been knocked down. This would be an accident waiting to happen.
- At a previous meeting, it was stipulated that under no circumstances would the conversion ever be allowed to be used for residential purposes.
- I have read the statement but I have not seen one advertisement that it is a bunk house for ramblers or cyclists.
- Mr Whittles has never spoken to me about a family moving in.
- The plot is very small and cannot accommodate a family especially as it is located on a busy main road.
- The original plans stated that straw bales would be used for insulation and the water tank would be retained. Neither of these things happened.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle. Further comments to be reported in the supplementary report.

Drainage Section - No response to date.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Design for security - No objections.

GM Ecology Unit - No objections, subject to the inclusion of condition relating to landscape planting.

United Utilities - No objections.

Unitary Development Plan and Policies

EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN1/5	Crime Prevention
EN6/4	Wildlife Links and Corridors
EN7	Pollution Control
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
EN9	Landscape
OL1/4	Conversion and Re-use of Buildings in the Green Belt
RT3/2	Additional Provision for Recreation in the Countryside
RT4/3	Visitor Accommodation
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
SPD 9	Conversion and Re-use of Buildings in the Green Belt
SPD11	Parking Standards in Bury
PPG2	PPG2 - Green Belts
PPS9	PPS9 Biodiversity and Geological Conservation

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant

policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The site is located within the Green Belt and paragraphs 89 and 90 of the NPPF are relevant.

Paragraph 89 of the NPPF states that the construction of new buildings in the Green Belt should be regarded as inappropriate in the Green Belt. Exceptions to this are:

- buildings for agriculture and forestry;
- provision of appropriate facilities for outdoor sport, outdoor recreation and for cemeteries, as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it;
- the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;
- the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;
- limited infilling in villages and limited affordable housing for local community needs under policies set out in the local plan; or
- limited infilling or the partial redevelopment of previously developed sites, whether redundant or in continuing use, which would not have a greater impact upon the openness of the Green Belt and the purpose of including land within it than the existing development.

Paragraph 90 states that certain forms of development are not inappropriate in Green Belt providing they preserve the openness of the Green Belt and do not conflict with the purposes of including land in Green Belt. These are:

- mineral extraction;
- engineering operations;
- local transport infrastructure, which can demonstrate a requirement for a Green Belt location;
- the re-use of buildings provided that the buildings are of permanent and substantial construction; and
- development brought forward under a Community Right to Build Order.

Policy OL1/2 states that the construction of new buildings within the Green Belt will be inappropriate development unless it is for agriculture, forestry, essential facilities for outdoor recreation, limited extensions of existing dwellings and for other uses of land which do not conflict with the purposes of including land in it. Proposals for buildings, which do not fall into one of the above categories is inappropriate development and will only be permitted in special circumstances.

Policy OL1/4 states that the conversion and re-use of buildings within the Green Belt will be permitted providing that the proposal would not have a materially greater impact than the present use upon the openness of the green belt; the buildings are capable of conversion without major or complete reconstruction; the form, bulk and general design are in keeping with the surroundings and suitable access and the likely traffic can be accommodated without creating a hazard or the need for major road improvements.

The approved scheme for recreational use established the principle of its increase in height. However, this proposed development involves an extension at the rear and an expansion of the hardstanding associated with the converted building, which have already been carried out. A ministerial statement was made on 17 December 2015, which stated that, 'The Government is concerned about the harm that is caused where the development of land has been undertaken in advance of obtaining planning permission. In such cases,

there is no opportunity to appropriately limit or mitigate the harm that has already taken place. Such cases can involve local planning authorities having to take expensive and time consuming enforcement action.

For these reasons, we introduced a planning policy to make intentional unauthorised development a material consideration that would be weighed in the determination of planning applications and appeals. This policy applies to all new planning applications and appeals received since 31 August 2015.'

The proposed extension would be viewed against the backdrop of the existing building and would be subservient to it due to position and scale. As such, the proposed development would be an extension to an existing building and would not result in a disproportionate addition over and above the size of the original building. Whilst the Ministerial statement makes it clear that intentional unauthorised development is a material planning consideration, it is difficult to determine intentions at this stage and considering the individual merits of the development, it would not have a significant adverse impact upon the openness and character of the Green Belt and would be in accordance with Policy OL1/2 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The proposed development includes the erection of a two storey extension at the rear of the building and amendments to the position of the windows at ground floor level. The proposed amendments to the windows would not impact upon the design and appearance of the building or upon privacy and overlooking.

The proposed two storey extension is to be located at the rear of the building and covers the same footprint as the previously approved external staircase. The proposed extension has been built in render and cladding, which would match the existing building. The proposed extension would be 5.3 metres in height and as such, would be subservient to the main existing building. Due to the topography of the land, only half of the proposed extension would be visible and it would be viewed against the backdrop of the existing building. As such, the proposed development would not have an adverse impact upon the openness and character of the Green Belt and would be in accordance with Policies OL1/4, EN1/1 and EN1/2 of the Bury Unitary Development Plan.

The proposed retaining walls have been set back into the site, to create an additional hardstanding area. Given the topography of the land, the proposed hardstanding and retaining walls would only be visible from Bradshaw Road, where they would be viewed against the backdrop of the existing stone wall along the frontage and the building. As such, the proposed development would not have an adverse impact upon the openness and character of the Green Belt. Therefore, the proposed development would be in accordance with Policies OL1/4, EN1/1 and EN1/2 of the Bury Unitary Development Plan.

Impact upon surrounding area - The land surrounding the proposed site is 2 metres higher than the site at the rear but higher elsewhere and as such, the proposed development would be screened from view. The proposed development would be over 125 metres from the nearest residential property and as such, would not have an adverse impact upon the amenity of the neighbouring residents in terms of noise or privacy. Therefore, the proposed development would be in accordance with Policies EN1/2 and EN7/2 of the adopted Unitary Development Plan.

Highways issues - The proposed development would include the removal of the gate and the erection of a wall, which would match the previously approved plans. The parking layby would provide parking for 2 vehicles and would allow for intervisibility between the parked and passing vehicles. The Traffic Section has no objections, subject to the inclusion of a condition relating to the provision of the wall. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policy HT4 of the Bury Unitary Development Plan.

Parking - The proposed development would not impact upon the previously approved

parking provision of 2 spaces within the layby. As such, the level of parking provision is acceptable and the proposed development would be in accordance with Policy HT2/4 of the adopted Unitary Development Plan and SPD11.

Response to objectors

- Each application is assessed on its own merits and as such, this proposal will not set a precedent for future building in the area.
- The access arrangements are as per the previously approved plans and the Traffic Section has no objections to the proposal.
- The issue relating to the use of the building are not relevant to this application but will be fully assessed as part of application 60157.
- The wall was removed at the front of the building but this would be reinstated as part of the proposed development and would be secured through a condition.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

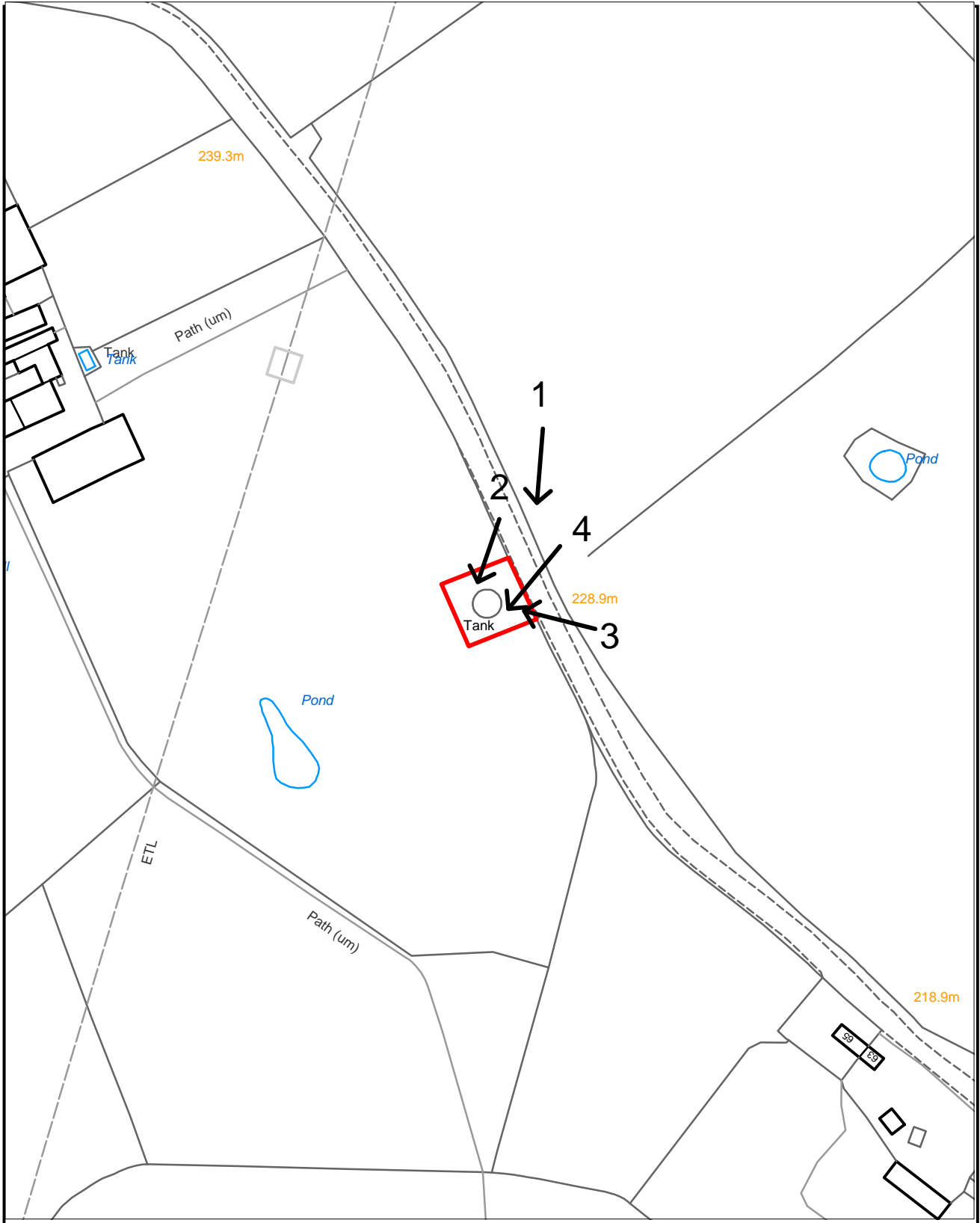
Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to the drawings received on 12 July 2016 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The landscaping scheme as approved on application 54249 shall be implemented within 12 months of this decision; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
4. There shall be no direct means of vehicular access between the site and Bradshaw Road other than the lay-by arrangements indicated on the approved plans (dated 12 July 2016).
Reason. To ensure good highway design in the interests of highway safety pursuant to Policy EN1/2 - Townscape and Built Design and Policy OL1/4 - Conversion and Re-use of Buildings in the Green Belt of the Bury Unitary Development Plan.

5. The development hereby approved shall not be used as a dwelling or dwellings. Reason. The site is within the Green Belt and to ensure that the development remains in use in connection with the purposes of Green Belt Policy contained within PPG2 - Green Belts and pursuant to Unitary Development Plan Policy OL1/1/4 - Conversion and Re-Use of Buildings in the Green Belt.
6. Within 2 months of the date of the decision, the stone wall, shown hatched on the proposed site plan, received on 12 July 2016, shall be built and remain thereafter. Reason. To ensure good highway design in the interests of highway safety pursuant to Policy EN1/2 - Townscape and Built Design and Policy OL1/4 - Conversion and Re-use of Buildings in the Green Belt of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60156

ADDRESS: The Roundhouse
Bradshaw Road

Planning, Environmental and Regulatory Services

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Bury
COUNCIL

60156

Photo 1



Photo 2

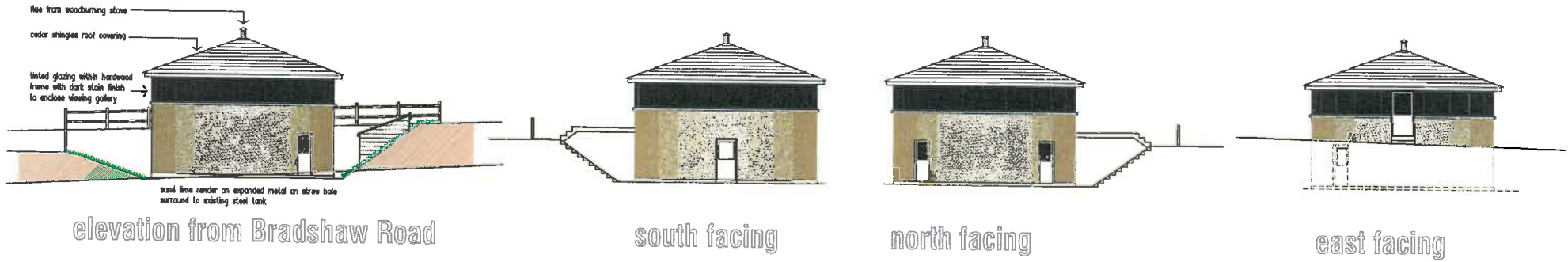


Photo 3



Photo 4



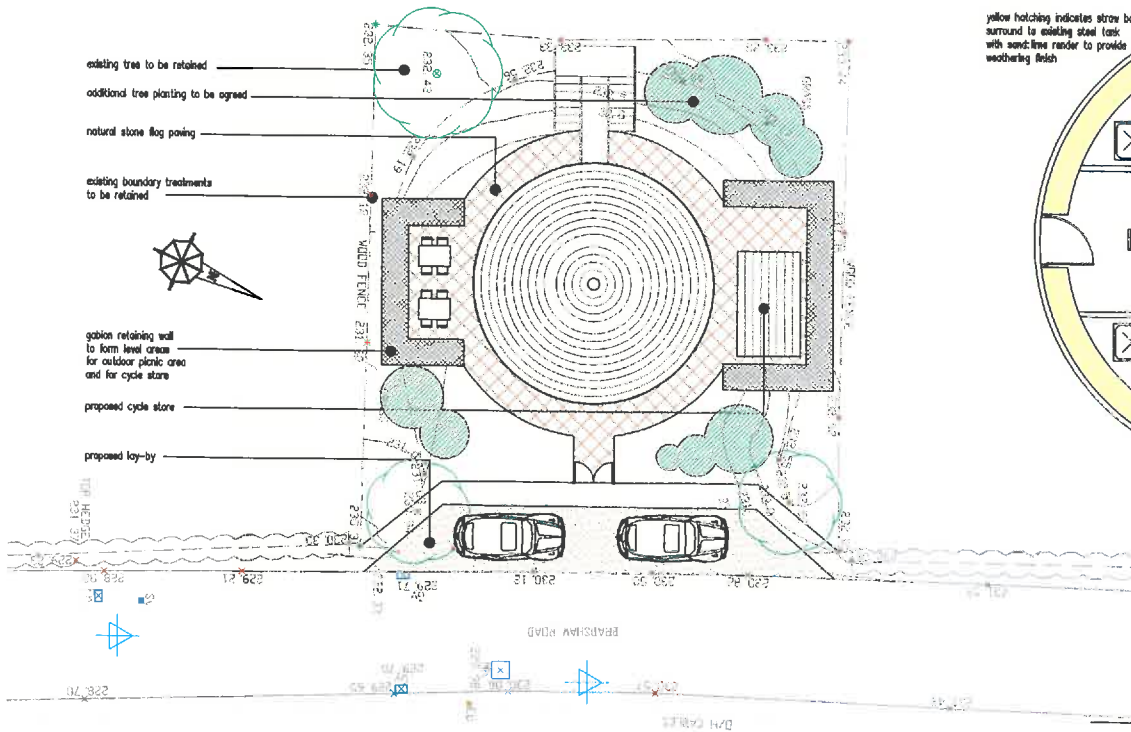


elevation from Bradshaw Road

south facing

north facing

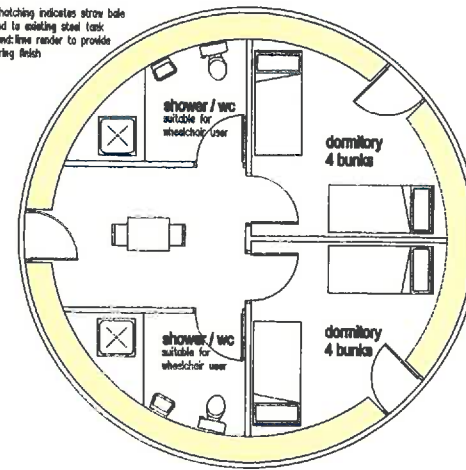
east facing



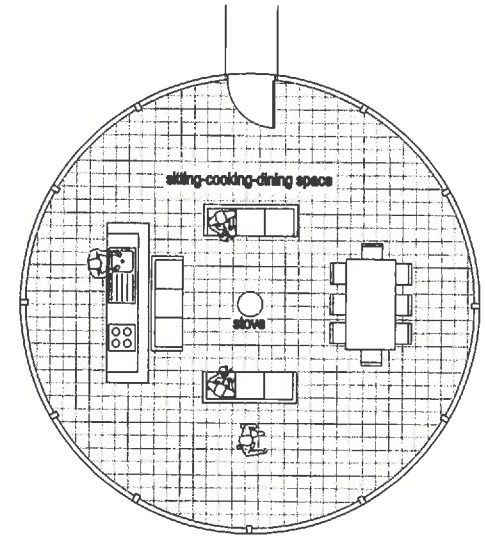
proposed site plan

as proposed

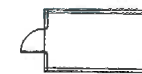
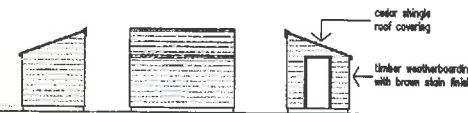
yellow hatching indicates straw bale surround to existing steel tank with sand lime render to provide weathering finish



ground floor plan



upper floor plan

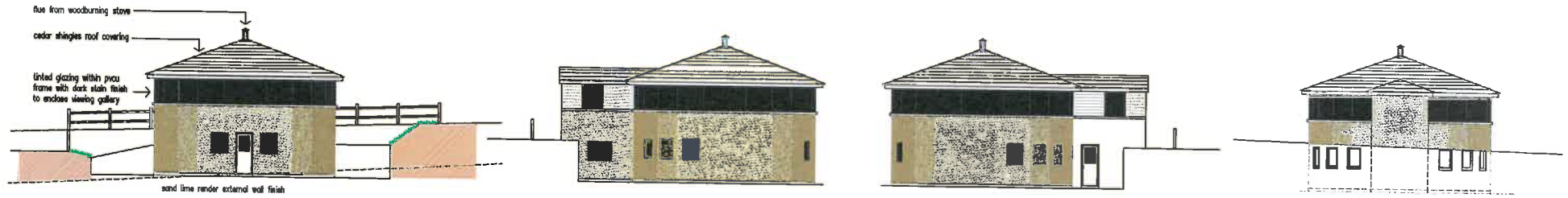


cycle store

proposed conversion of redundant water storage tank to form 8 bed bunkhouse accommodation at Bradshaw Road Affetside Bury

scale 1:100 1:50 @ A1

0m 5m
linear scale 1:50 @ A1

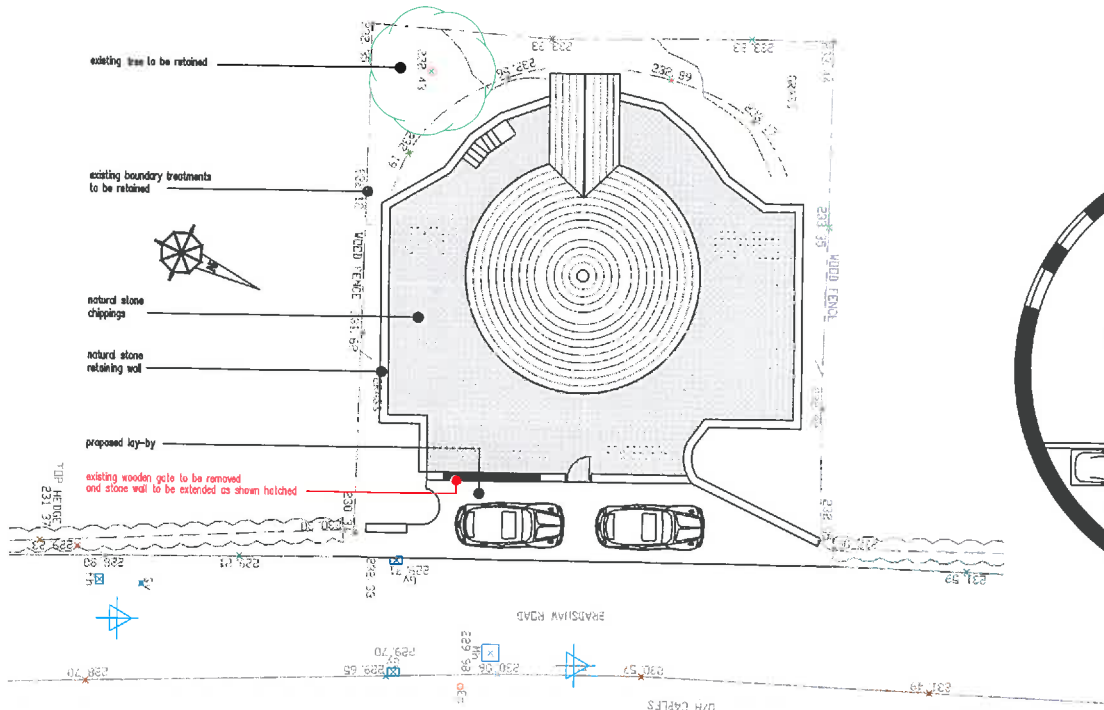


elevation from Bradshaw Road

south facing

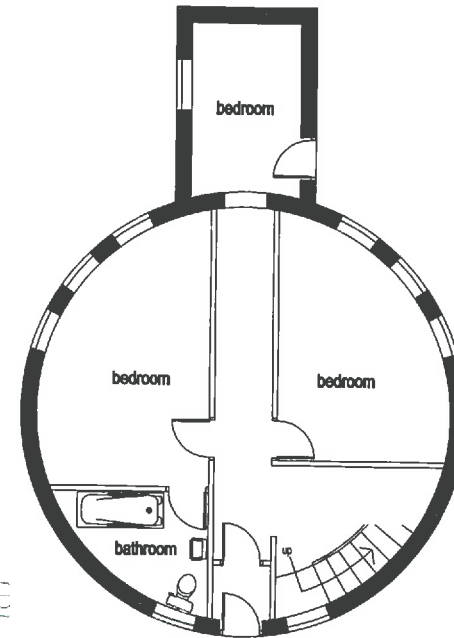
east facing

north facing

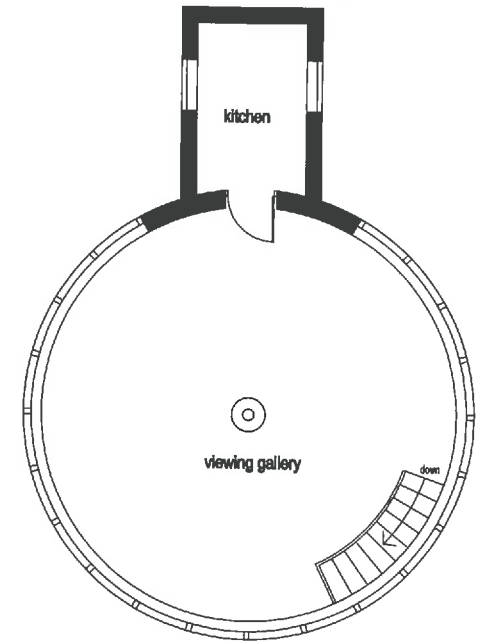


proposed site plan

as built february 2016



ground floor plan



upper floor plan

proposed conversion of redundant water storage tank to form bunkhouse accommodation at
Bradshaw Road
Affetside
Bury

scale 1:100 1:50 @ A1

0m 5m

linear scale 1:50 @ A1

Rae Connell Associates Building Design and Planning Consultants
 214 Burnley Road Bacup Lancashire
 01708 873000

Ward: Prestwich - St Mary's

Item 05

Applicant: Danat Homes

Location: Plots 1 & 2, Shrewsbury Road, off Lowther Road, Prestwich, Manchester, M25 9QG

Proposal: Variation of condition no. 2 (approved drawings) of planning permission 56691 to change the construction type and position of section of retaining wall behind plots 1 & 2 and revisions to the vehicle access gates (swing to sliding) and addition of lighting on columns to gates.

Application Ref: 60194/Full

Target Date: 29/09/2016

Recommendation: Approve with Conditions

Description

Shrewsbury House is located within substantial grounds of a 0.5 hectare plot and is within the St Mary's Conservation Area. Shrewsbury House is a prominent building within the Conservation Area and has been deteriorating for a number of years, having been open to the elements for at least 4 years. In 2012, the building was in a poor state of repair and is described as a building of significance in the Conservation Area Appraisal and Management Plan. The building is not nationally listed, but is on the draft local list.

Shrewsbury House is a well designed three storey dwelling, featuring fair faced brickwork with brick arch window heads and fine cill/window detailing and a slate roof. Other notable details include the fascia and soffit timber work, ornate porch and a stair newel post, which are all associated with high quality Victorian architecture. It was built circa 1850 in an elevated position overlooking what is now called 'The Clough'. The dwelling sits in the north western corner of an extensively wooded and steeply sloping site, and is bounded by Lowther Road and Shrewsbury Road and is within a residential area.

Planning permission was granted in February 2013 for the refurbishment, repair and extension of Shrewsbury House and the provision of 4 dwellings within the grounds as enabling development. The extensions to Shrewsbury House included a single storey side/rear extension and a two storey rear extension, which would be constructed from render and slate. These were amended by application 56991 in March 2014 (see planning history).

The approved four detached dwellings are approved to be located on the perimeter of the site. Three fronting onto Shrewsbury Road and one fronting onto Lowther Road. The garden areas to the proposed dwellings comprised a series of level areas, supported by retaining walls due to the topography of the land.

The proposed development involves the variation of the approved plans to allow for the change to the position of the retaining wall in the rear gardens for plots 1 and 2, revisions to the vehicle access gate from swing to sliding to all plots and the addition of lighting/lanterns on the columns to the gates.

Relevant Planning History

55537 - Erection of 4 no. detached dwellings and extensions and refurbishment to Shrewsbury House at Shrewsbury House, Lowther Road, Prestwich. Withdrawn - 25 September 2012.

This application was withdrawn as an incorrect red edge had been submitted, which had omitted part of the access.

55663 - Erection of 4 no. detached dwellings and extensions and refurbishment to Shrewsbury House (resubmission) at Shrewsbury House, Lowther Road, Prestwich. Withdrawn - 28 November 2012.

This application was withdrawn as there as insufficient information relating to the heritage value of the site and ecology.

55858 - Refurbishment and extension of Shrewsbury House and construction of 4 no. detached dwellings with access and associated works at Shrewsbury House, Lowther Road, Prestwich. Approved with conditions - 28 February 2013.

56691 - Variation of condition No. 2 (plans) of approved planning permission 55858 - Amendment to layout and extensions to the development at Shrewsbury House, Lowther Road, Prestwich. Approved with conditions - 25 March 2014.

Enforcement

13/0139 - Breach of condition. Received - 13 March 2013. Tree replacement notice served 4 December 2013.

Publicity

The neighbouring properties were notified by means of a letter on 16 August and a press notice was published in the Bury Times on 25 August 2016. Site notices were posted on 18 August 2016.

1 letter has been received from the occupiers of 44 Shrewsbury Road, which has raised the following issues:

- The application includes a major design change in relation to the gate posts for plots 1, 2 and 3, which are located on Shrewsbury Road.
- The gate posts have increased in height to 2.45 metres and the stone caps to the top of the posts have been replaced with large coach lantern style light fixtures, which will emit light through 360 degrees.
- The proposed fencing and lighting would tower above our fence and the light would shine directly into our lounge and master bedroom at a distance of under 16 metres. This will add to light pollution.
- The light fixtures on top of the gate posts are obtrusive, unnecessary and out of character with the conservation area.
- We would recommend a site visit to inspect the gate posts and light fixtures.
- The current design could be improved by the incorporation of lighting at a lower level in the gate posts, which would be less obtrusive and would serve a meaningful purpose in terms of road safety.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections, subject to the inclusion of conditions relating to boundary treatments, surfacing of Shrewsbury Road, turning facilities and measures to prevent mud from passing onto the highway.

Building Control - No objections.

Unitary Development Plan and Policies

H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/3	Extensions and Alterations
H2/6	Garden and Backland Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN2	Conservation and Listed Buildings
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control

EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/1	Tree Preservation Orders
EN8/2	Woodland and Tree Planting
RT2/2	Recreation Provision in New Housing Development
HT2/4	Car Parking and New Development
HT4	New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
SPD1	Open Space, Sport and Recreation Provision
SPD2	DC Policy Guidance Note 2: Wildlife Links & Corridors
SPD6	Supplementary Planning Document 6: Alterations & Extensions
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Conservation area development - The NPPF sets out the Government's planning policies and one of the core planning principles states that planning should 'conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations.'

The NPPF makes clear that Local Planning Authorities should look for opportunities for new development within Conservation Areas and proposals which preserve those elements of the setting that make a positive contribution should be treated favourably. In addition, the loss of a building of significance that which makes a positive contribution to the Conservation Area should be treated as substantial harm, taking into account the building's contribution to the Conservation Area as a whole.

With regard to enabling development, paragraph 140 of the NPPF states that "Local Planning Authorities should assess whether the benefits of a proposal for enabling development, which would otherwise conflict with planning policies but would secure the future conservation of a heritage asset, outweigh the disbenefits of departing from those policies."

Design and layout

RETAINING WALL - During excavations for the site, there was a landslip and as such, the position of the retaining wall for plots 1 and 2 has been revised. The retaining wall for plot 1 is stepped, and the facing material would be the same as previously approved. The proposed development would result in a smaller garden at the rear but there would be an acceptable level of private amenity space for the occupiers of the proposed dwelling. The level of private amenity space for plot 2 would remain as previously approved and would be acceptable. The land to the south of the retaining wall would be re-graded in accordance with the proposals from the structural engineer. Therefore, the proposed development would be in accordance with Policies H2/1, H2/2 and EN1/2 of the Bury Unitary Development Plan.

GATES - The proposed gates would be wrought iron and would be located in the same position as previously approved gates. The proposed gates would be sliding gates as opposed to swing gates that would have opened onto Shrewsbury Road. Given the design

and appearance of the gates, the proposed development is considered to preserve the character and appearance of the conservation area and would be in accordance with Policies EN1/2, EN2/1, EN2/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

LANTERNS - The proposed lanterns are located on top of the columns for the gates and are minor additions that whilst visible are not substantial objects and would be permitted development were the houses occupied. Given their scale, it is considered that the lanterns are an appropriate design for the properties and preserve the character and appearance of the conservation area and would be in accordance with Policies EN1/2, EN2/1, EN2/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - There would be a minimum of 16.2 metres between the lighting and the rear elevation of the dwellings on Shrewsbury Road. Given the distance involved, the intervening roadway and other features including the existing 2 metre high timber fence, it is considered that the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

Highways issues - The proposed development would not impact upon visibility splays and the Traffic Section has no objections, subject to the inclusion of conditions relating to boundary treatments, surfacing of Shrewsbury Road, turning facilities and measures to prevent mud from passing onto the highway. Therefore, the proposed development would be in accordance with Policies H2/1 and H2/2 of the Bury Unitary Development Plan.

Response to objectors

The issues relating to gate posts, lantern style light fixtures, impact upon residential amenity, character of the conservation area and road safety have been addressed in the main report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered RCW20 53 A, 11186 01A, 11186 02A, 11186 04D, 11186 07, 11186 11E, 11186 12E, 11186 13E, 11186 14F, 11186 101A, 11186 204A, 14-1388 SE200 *, 14-1388 SE100 E, 14-1388 SE101 C, 14-1388 SE102 B, 11,186 500 B, 11,186 501 B, 11,186 502 A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The remediation strategy approved as part of condition 3 to permission 56691 must be carried out to the satisfaction of the Local Planning Authority within

agreed timescales; and

A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

4. The external finishing materials for the extension to Shrewsbury House shall be as stated on the approved materials schedule to condition 5 of permission 56691.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
5. The development shall not commence unless and until the tree protection measures, dated January 2013 have been implemented and all measures required by the scheme shall continue until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
6. No trees shall be felled, lopped or topped before or during the construction period without the previous written consent of the Local Planning Authority.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
7. The method statement by Angela Graham, dated 26 November 2012 for the mitigation and enhancement for lost bat roosting potential for trees and Shrewsbury House shall be implemented in full prior to first occupation of Shrewsbury House.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
8. The method statement by Angela Graham Bat Consultancy Service, dated 26 November 2012 for the protection and enhancement of the badger sett and habitat shall be implemented in full prior to first occupation of Shrewsbury House.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
9. No construction works shall take place within 30 metres of any occupied sett.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
10. The landscaping proposal approved as part of condition 12 of permission 56691 shall be implemented in full prior to occupation of Shrewsbury House.
Reason. To protect and enhance the ecological value of the site pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning

Policy Framework Section 11 - Conserving and enhancing the natural environment.

11. No works shall be carried out to the trees that would disturb nesting birds between 1st March and 31st August inclusive in any year.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
12. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the first occupation of the dwellings to which they relate and hereby approved.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan and SPD11.
13. The refuse storage facilities indicated on plan reference RCW 20 15 P shall be implemented and made available for use prior to the development hereby approved becoming first occupied and shall thereafter remain available at all times.
Reason. In order to ensure that the development would maintain adequate facilities for the storage of domestic waste, including recycling containers, in the interests of amenity and pursuant to the following Policies of the Unitary Development Plan:
Policy EN1/2 - Townscape and Built Design
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development
14. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the prior written consent of the Local Planning Authority.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
15. The proposed front driveways for the dwellings hereby approved shall be a hard surface that includes permeable materials.
Reason. To secure the satisfactory development of the site pursuant to Policy EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan and the National Planning Policy Framework.
16. Prior to first occupation of plots 1, 2 and 3, Shrewsbury Road shall be a minimum width of 5 metres and shall be resurfaced.
Reason. To ensure good highway design and the provision of adequate access arrangements to the new dwellings pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.
17. The turning facilities indicated on the approved plans shall be provided before the development is brought into use and shall subsequently be maintained free of obstruction at all times
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.
18. The measures to prevent mud from passing onto the highway approved as part of condition 21 of permission 56991 shall be implemented and maintained thereafter during the period of construction.
Reason. To ensure that the adopted highways are kept free of deposited material

from the ground works operations pursuant to H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

19. Within 30 days of the date of this decision, details of surface water drainage for Shrewsbury Road, including an assessment of potential SuDS schemes, has been submitted to and approved in writing by the Local Planning Authority. The approved details and the scheme approved under condition 22 of permission 56991 shall be implemented in full prior to occupation of the dwellings hereby approved.
Reason. To reduce the risk of flooding by ensuring the satisfactory storage of/disposal of surface water from the site pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.
20. No construction works shall be carried out on Shrewsbury House until full details of the windows, including a plan at 1:20 have been submitted to and approved in writing by the Local Planning Authority and the works shall then be carried out in complete accordance with those details.
Reason. In order to preserve features of special architectural or historical interest pursuant to Policy EN2/1 - Character of Conservation Areas and Policy EN2/2 - Conservation Area Control of the Bury Unitary Development Plan and Section 12 of the NPPF.
21. The visibility splays indicated on plan 11186 105 K shall be implemented prior to the occupation of each unit and shall subsequently be maintained free of obstruction above the height of 0.6m
Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan;
Policy H2/1 - The Form of New Residential Developments
Policy H2/2 - The Layout of New Residential Developments
Policy EN1/2 - Townscape and Built Design.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints

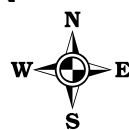


PLANNING APPLICATION LOCATION PLAN

APP. NO 60194

**ADDRESS: Plots 1 & 2 Shrewsbury Road
Off Lowther Road
Prestwich**

Planning, Environmental and Regulatory Services



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60194

Photo 1



Photo 2





BOUNDARY TREATMENT AND PLANTING KEY																			
	APPLICATION BOUNDARY																		
	EXISTING BUILDINGS TO BE RETAINED AS APPROVED																		
	PROPOSED DWELLINGS - EXTERIORS TO FASTENING DWG 1/20																		
	EXISTING FENCING																		
	PROPOSED DOUBLE SIDED FEATHER EDGE TIMBER FENCING @ 1.8m HIGH AS SECTION DETAIL UNLESS SPECIFIED OTHERWISE ON PLAN																		
	PROPOSED FEATHER EDGE PANEL FENCING @ 1.8m HIGH AS SECTION DETAIL																		
	1.2m HIGH RAILINGS AS INDICATED ON FENCING PANEL SECTION DETAIL. W/ POWDER COATED BLACK (RAL 9004)																		
	2.0m HIGH ELECTRONICALLY OPERATED SLUICE GATES TO PLOT FRONTAGES. DATE UNLESS TO BE CONFIRMED.																		
	PDS GRASS REED AND APRIL / LOWLANDS DEER																		
	FLORA IVY AND VERA																		
	200mm PLANTING BUFFER																		
	FFRWS HEDGEROWS BETA 1A																		
	NEW HEDGE PLANTING COMPOSING: BIRCH 100% 800-800MM HOLLY 100% 800-800MM HAWTHORN 100% 800-800MM LAVENDER 100% 800-800MM TO BE PLANTED IN 3m ROWS @ 200mm STAGGERED C/S.																		
	NEW BUSH PLANTING COMPOSING: VERONICA 100% 300-400MM ELDERBERRY 100% 300-400MM LAVENDER 100% 300-400MM BIRCH 100% 300-400MM COTONEASTER 100% 300-400MM SUNNY GARDEN 100% 300-400MM																		
	PROPOSED NEW TREE PLANTING COMPOSING: BIRCH 100% 400-450MM APPLE 100% 400-450MM BIRCH 100% 400-450MM OAK 100% 400-450MM																		
	THE EXISTING WOODLAND IS TO BE ENHANCED BY THE INTRODUCTION OF NEW WOODLAND PLANT SPECIES AS LISTED BELOW: <table border="1"> <thead> <tr> <th>LATIN NAME</th> <th>COMMON NAME</th> </tr> </thead> <tbody> <tr> <td>10% Actinidia chinensis**</td> <td>Actinidia - 2.0m</td> </tr> <tr> <td>10% Anemone nemorosa**</td> <td>Wood Anemone - 45cm</td> </tr> <tr> <td>10% Digitalis purpurea**</td> <td>Fengle - 45cm</td> </tr> <tr> <td>10% Primula vulgaris**</td> <td>Primula (double yellow)</td> </tr> <tr> <td>10% Ranunculus acris**</td> <td>Ranunculus (yellow)</td> </tr> <tr> <td>10% Silybum maritimum**</td> <td>Sea Purslane - 45cm</td> </tr> <tr> <td>10% Thalictrum flavum**</td> <td>Black Thalictrum - 45cm</td> </tr> <tr> <td>10% Valeriana officinalis**</td> <td>Valerian - 45cm</td> </tr> </tbody> </table> ** planted in shrub areas at top of slope and occasional edge areas ** planted in wetter areas or at base of slope Please plug randomly in groups of 3-11 and espouse 20cm apart ALL BIRCH PLANTS AND BUSHES SHOULD BE LOCALLY PROPAGATED	LATIN NAME	COMMON NAME	10% Actinidia chinensis**	Actinidia - 2.0m	10% Anemone nemorosa**	Wood Anemone - 45cm	10% Digitalis purpurea**	Fengle - 45cm	10% Primula vulgaris**	Primula (double yellow)	10% Ranunculus acris**	Ranunculus (yellow)	10% Silybum maritimum**	Sea Purslane - 45cm	10% Thalictrum flavum**	Black Thalictrum - 45cm	10% Valeriana officinalis**	Valerian - 45cm
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10% Anemone nemorosa**	Wood Anemone - 45cm																		
10% Digitalis purpurea**	Fengle - 45cm																		
10% Primula vulgaris**	Primula (double yellow)																		
10% Ranunculus acris**	Ranunculus (yellow)																		
10% Silybum maritimum**	Sea Purslane - 45cm																		
10% Thalictrum flavum**	Black Thalictrum - 45cm																		
10% Valeriana officinalis**	Valerian - 45cm																		

SPECIFICATION NOTES	
1	ALL LANDSCAPING OPERATIONS (TOPSOIL, PREPARATION OF BEDS, PLANTING, IRRIGATION PREPARATION) TO BE COMPLETED PRIOR TO BUILDING TOPPING. ALL PLANTING TO BE COMPLETED PRIOR TO PLANTING. ALL PLANTING TO BE COMPLETED PRIOR TO PLANTING. ALL PLANTING TO BE COMPLETED PRIOR TO PLANTING.
2	TOPSOIL TO BE HANDLED AND STORED IN ACCORDANCE WITH THE SPECIFICATION.
3	PLANTS TO BE SUPPLIED IN ACCORDANCE WITH BS 2800 AND OPEN ROOTED PLANTS TO BE SUPPLIED WITH 100% MULCH. ALL PLANTS TO BE SUPPLIED WITH 100% MULCH. ALL PLANTS TO BE SUPPLIED WITH 100% MULCH.
4	GRASS AREAS TO BE SEEDED ON TURFED AND OPERATIONAL GRASSES BUT NOT MORE THAN 1 YEAR TO BE SUPPLIED IN ACCORDANCE WITH BS 2800.
5	LANDSCAPING WORK TO BE COMPLETED WITH THE PLANTING PROGRAM FOLLOWING COMPLETION OF THE DEVELOPMENT.
6	ANY PLANT MATERIAL WHICH FAILS WITHIN FIVE YEARS OF PLANTING TO BE REPLACED IN ACCORDANCE WITH PLANNING CONDITIONS.
7	SAMPLES OF ALL HARD LANDSCAPING MATERIALS TO BE AGREED.

ELECTRICAL KEY	
	VIDEO INTERCOM LINEAR WITH VIDEO INTERCOM IN FRAME AS MATE TO GATE ACCESS

DRAWING REVISION		REV	DATE
B	DRAWING REVISION	REV	18.08.2018
A	FIRST ISSUE	REV	15.08.2018
REV	AMENDMENTS	BY	DATE

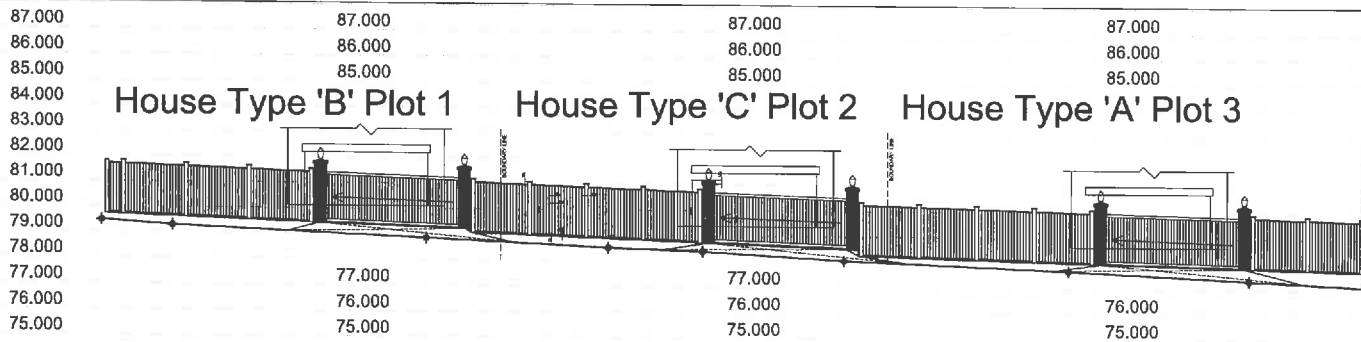
PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT LOWTHER ROAD / SHREWSBURY ROAD PRESTWICH MANCHESTER
 CLIENT
MR. L. WERTHEIMER

TITLE
PROPOSED SITE LAYOUT SHOWING LANDSCAPING

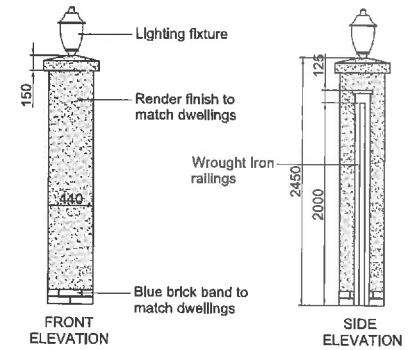
DRAWN	IMCHINNELL	DATE	14.08.2018
CHECKED		SCALE	1:200 @ A1
APPROVED			

HOWARD & SEDDON A.R.I.B.A. CHARTERED ARCHITECTS
 84 WASHWAY ROAD, SALE, CHESHIRE M33 7RE.
 TEL No. 0161 - 873 8298
 FAX No. 0161 - 862 3485
 e-mail : admin@howardandseddon.co.uk

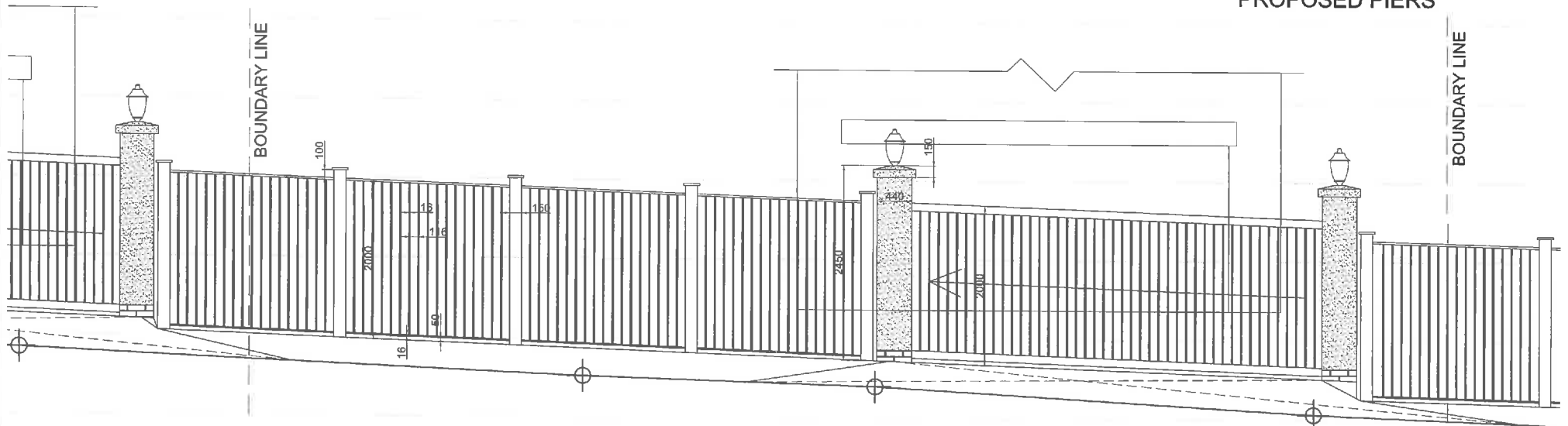
JOB No.	11186	DWG No.	500	REVISION	B
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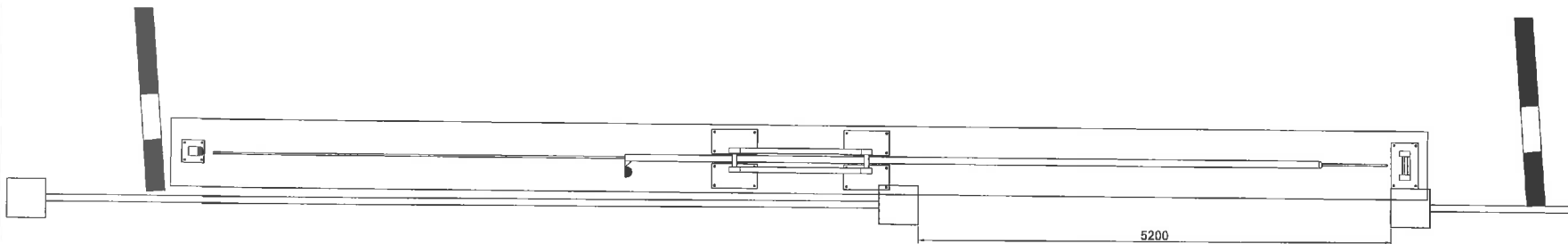
PROPOSED SHREWSBURY ROAD STREET FRONTAGE



PROPOSED PIERS



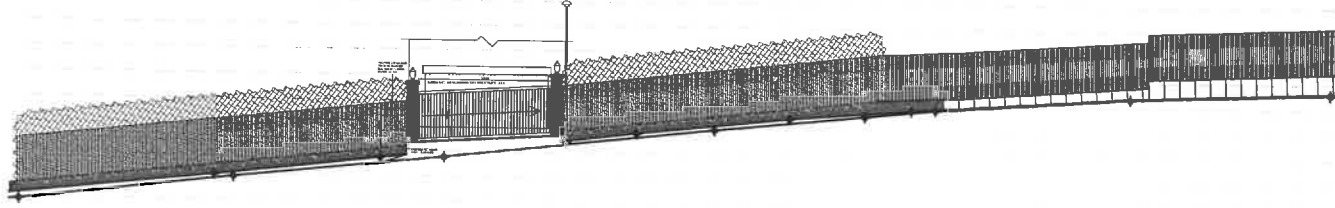
PROPOSED ELEVATION OF SLIDING VEHICULAR ACCESS GATE AND RAILINGS
SCALE 1 : 25



PROPOSED SLIDING ACCESS GATE SCALE
1 : 25

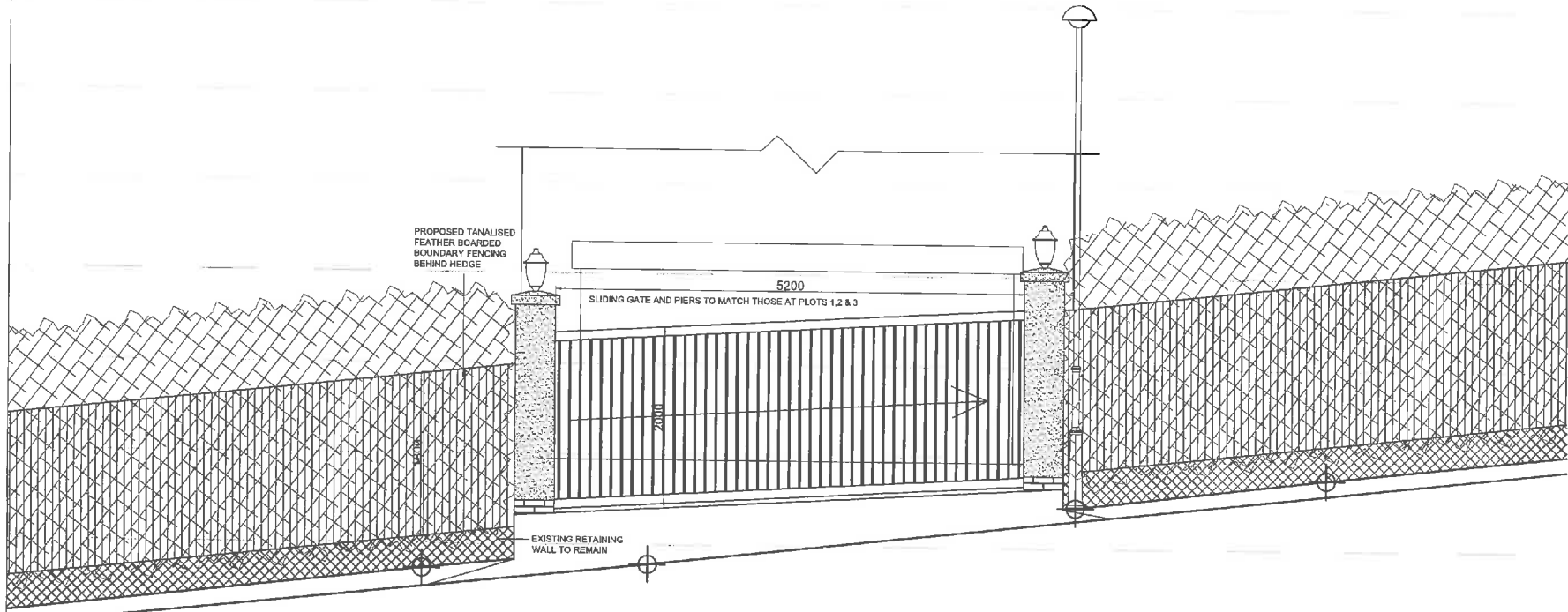
B	DRAWING REVISED	R/W	17.06.16
A	FIRST ISSUE	R/W	16.06.16
REV	AMENDMENTS	BY	DATE
PROJECT			
PROPOSED RESIDENTIAL DEVELOPMENT LOWTHER ROAD / SHREWSBURY ROAD PRESTWICH MANCHESTER			
CUST			
TITLE			
PROPOSED GATE / RAILING DETAILS TO PLOTS '1', '2' & '3' SHREWSBURY ROAD			
DRAWN I MCKINNELL		DATE 16.06.2016	
CHECKED		SCALE 1:200 @ A1	
APPROVED		1:25 @ A1	
HOWARD & SEDDON A.R.I.B.A. CHARTERED ARCHITECTS 64 WASHWAY ROAD, SALE, CHESHIRE M33 7RE, TEL No. 0161 - 973 8296 FAX No. 0161 - 962 3485 e-mail : admin@howardandseidon.co.uk			
DCO No.	DRG No.	REVISION	
11,186	501	B	

90.000
House Type 'D' Plot 4



79.000
78.000
77.000
76.000
75.000

PROPOSED LOWTHER ROAD STREET FRONTAGE



PROPOSED ELEVATION OF SLIDING ACCESS GATE
SCALE 1 : 25

A	FIRST ISSUE	RW	17.06.16
REV	AMENDMENTS	BY	DATE
PROJECT			
PROPOSED RESIDENTIAL DEVELOPMENT LOWTHER ROAD / SHREWSBURY ROAD PRESTWICH MANCHESTER			
CLIENT			
MR. L. WERTHEIMER			
TITLE			
PROPOSED GATE / FENCE DETAILS TO PLOT '4' ON LOWTHER ROAD			
DRAWN: I McINNELL		DATE: 17.06.2016	
CHECKED:		SCALE: 1:25 @ A1	
APPROVED:		1:25 @ A1	
HOWARD & SEDDON A.R.I.B.A. CHARTERED ARCHITECTS 64 WASHWAY ROAD, SALE, CHESHIRE M33 7RE. TEL No. 0161 - 973 8298 FAX No. 0161 - 962 3485 e-mail: admin@howardandseddon.co.uk			
JOB No.	DRG No.	REVISION	
11,186	502	A	

Ward: Bury East - Redvales

Item 06

Applicant: Mr Tariq Latif

Location: 34 Parkhills Road, Bury, BL9 9AT

Proposal: Two storey extension at side and rear; Excavation of front garden to allow formation of new vehicular and pedestrian access onto Horne Street

Application Ref: 60413/Full

Target Date: 27/10/2016

Recommendation:

This application is being presented to the Planning Control Committee as it submitted is on behalf of a Councillor.

Description

Planning approval has previously been granted on this site for an identical development. This was approved at Planning Committee on 19/06/13. This application has been submitted as the previous approval has now lapsed.

The property is a two storey corner semi-detached house with paved garden areas to three sides. There is a large detached garage at the rear which is on a lower level to the main dwelling. The drive in front of the garage currently accommodates one vehicle. There is a small porch on the side elevation and the site is bounded by brick walls. Houses to the front, across Parkhills Road are over 20m away from the site as is number 60 Horne Street at the rear and the church building to the west. Number 55 Horne Street at the rear is approximately 16.5m from the rear elevation of the single storey out-rigger on the property.

The applicant proposes to build two storey/single storey extensions to the side and rear of the property. To the front the extension would project 3.3m from the side elevation and along the side the total length along the side would be 14m. Across the rear it would measure 7.2m and it would project 6.1m from the original rear elevation.

At first floor level the extension would project 1.9m from the side elevation, at the front. It would have an overall length of 14m and across the rear where bedroom 1 would be would measure 3.3m wide and then it would be stepped back by 2.7m to where bedroom 5 would be built. This section would measure 3.1m wide and would project 4m from the original rear elevation. The side elevation of the extension would be approximately 3m from the boundary with 36 Parkhills Road.

Relevant Planning History

01293/E - Two storey extensions to side & rear; Formation of new vehicular & pedestrian access onto Horne Street - Enquiry completed 07/12/2012

56171 - Two storey extensions to side & rear; Formation of new vehicular & pedestrian access onto Horne Street - Approve with Conditions 19/06/2013

Publicity

Immediate neighbours notified on 02/09/16 - There has been one objection received from the occupier of 60 Horne Street. They have given the following reasons of objection;

- Since the current owner of this property was last given planning permission for this proposal three years ago, it has fallen into disrepair and now having been left empty and abandoned for at least two months is becoming a target for vandalism, as such I have

no problem with this property being extended if it brings it back into use.

- I am however concerned about the scale of this proposal which will more than double the size of the existing building. Having viewed the plans online I've noticed that the scheme calls for a two story structure extending the length of the existing house plus the entire length of the rear garden. As there are no windows planned for the street side of this structure this will create an unbroken, featureless, brick edifice some 20 feet high, further heightened by the foundations being three or four feet above street level.
- Given the number of eyesores and architectural mistakes already blighting Fishpool, do we really need another one?

Consultations

Traffic Section - No objections to this application.

Unitary Development Plan and Policies

SPD6 Supplementary Planning Document 6: Alterations & Extensions
H2/3 Extensions and Alterations

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

The main considerations of this application are the impact of the proposal on visual and residential amenity.

Visual Amenity - Proposed materials as well as the design of the extension would be complimentary to the existing property given that materials such as bricks and tiles would match the existing bricks and tiles on the property and proposed window frames and doors would be white UPVC in order to retain the same character of the building. There are different types of property along Parkhills Road including terraced, semi-detached and detached houses so the extension should not have any seriously detrimental effect on the existing street scene. The extension would be within 3m of the boundary to the side and will take up more than half of the garden area, which is contrary to SPD 6, but as the immediate area is typified by properties that are built close to the pavement at the side and as such, providing there is a gap between the gable side wall and the side street, Horne Street, it should not have any detrimental effect on visual amenity in the existing street scene and would comply with SPD 6 in this regard. The design of the proposal is considered acceptable in this location.

The new driveway to be constructed at the front of the property, with access from Horne Street, would retain the existing front boundary wall and as such will not impact adversely on the visual amenity of the area. However, a condition is recommended requiring full details of the new highways crossing and boundary wall treatment as the application is not clear with regard to this detail.

Residential Amenity – Properties on Parkhills Road the front of the site are over 20m away from the site and to the west the nearest property is a church and as such comply with the Councils aspect standards.

60 Horne Street to the south west is also over 20m from the site.

55 Horne Street to the rear would be approximately 13m from the rear of the proposed extension and has a blank two storey gable wall facing the site which also complies with the

Councils aspect standards.

As such there would not be any seriously detrimental effect on residential amenity at any of the surrounding properties.

The extension would be within 3m of the side boundary and has no principal habitable room windows that would affect residential amenity. The two storey extension would be 7m to the rear boundary on site which is acceptable and complies with the minimum distance in SPD 6.

The proposal conforms to UDP Policy H2/3 - Extensions and Alterations and the requirements of Supplementary Planning Document 6 – Alterations and Extensions to Residential Properties in terms of separation distance to the surrounding properties.

Parking and new driveway - The existing garage and parking on the existing driveway on the site would be maintained. An additional driveway would be constructed to the front of the house with access from Horne Street to provide an additional off road parking space.

The proposal conforms to UDP Policy H2/3 - Extensions and Alterations and the requirements of Supplementary Planning Document 6 – Alterations and Extensions to Residential Properties in terms parking and impact on highways.

Neighbour Objection - The concerns of the objector have been addressed in the report above.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation:

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 12/254.01, 12/054.02, 12/254.03, 12/254.09 and 12/254.10 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury UDP Policy H2/3 - Extensions and Alterations and the guidance in Supplementary Planning Document 6 – Alterations and Extensions to Residential Properties.
3. Prior to the commencement of development, details relating to the proposed new driveway, highway crossing and boundary treatment for the site shall be submitted to and approved in writing by the Local Planning Authority. The approved details only shall be implemented as part of the approved development.
Reason - To secure the satisfactory development of the site and in the interests of the visual amenities of the area pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan, H2/3 - Extensions and Alterations to

Residential Properties and the associated SPD 6 Alterations and Extensions to Residential Properties.

For further information on the application please contact **Amanda Uhunmwagho** on **0161 253 5323**

60413

Photo 1



Photo 2



60413

Photo 3



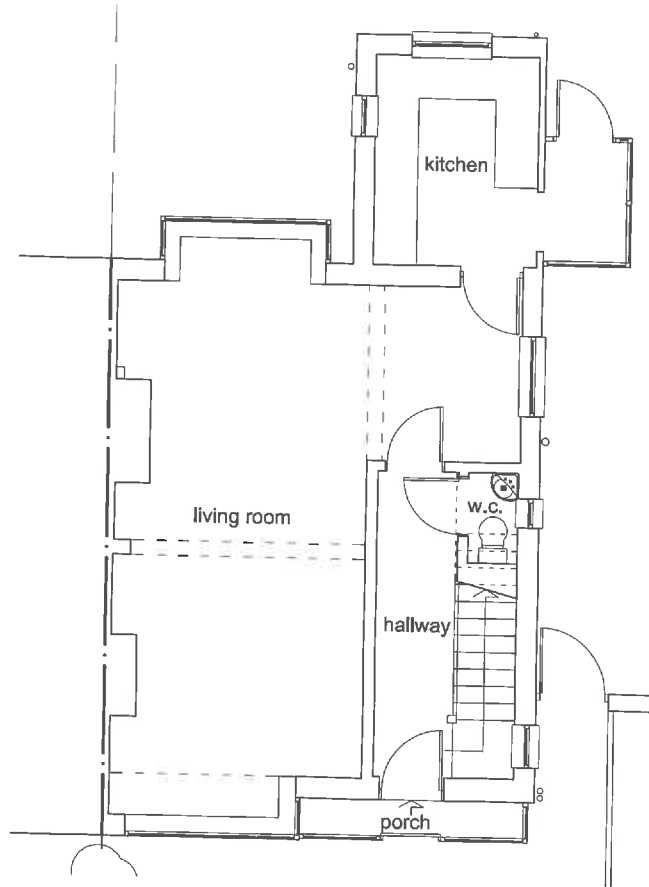
Photo 4



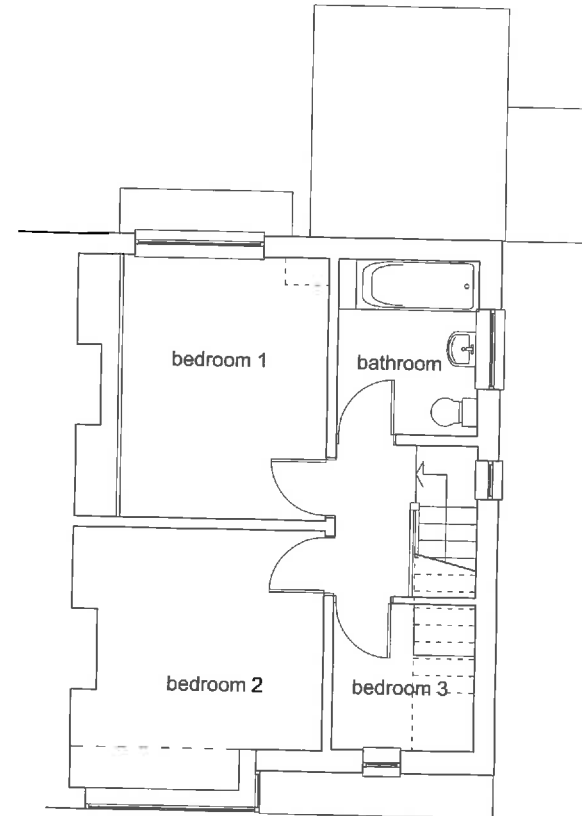
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- * Contractors to check all dimensions on site prior to commencement of work.
- * All works to be carried out in accordance with current statutory Health and Safety Regulations.
- * This drawing is to be read in conjunction with all relevant contracts and / or specialist drawings / documents and any discrepancies or variations are to be notified to the architect before affected work commences.

REV.	AMENDMENTS	DATE



GROUND FLOOR LAYOUT



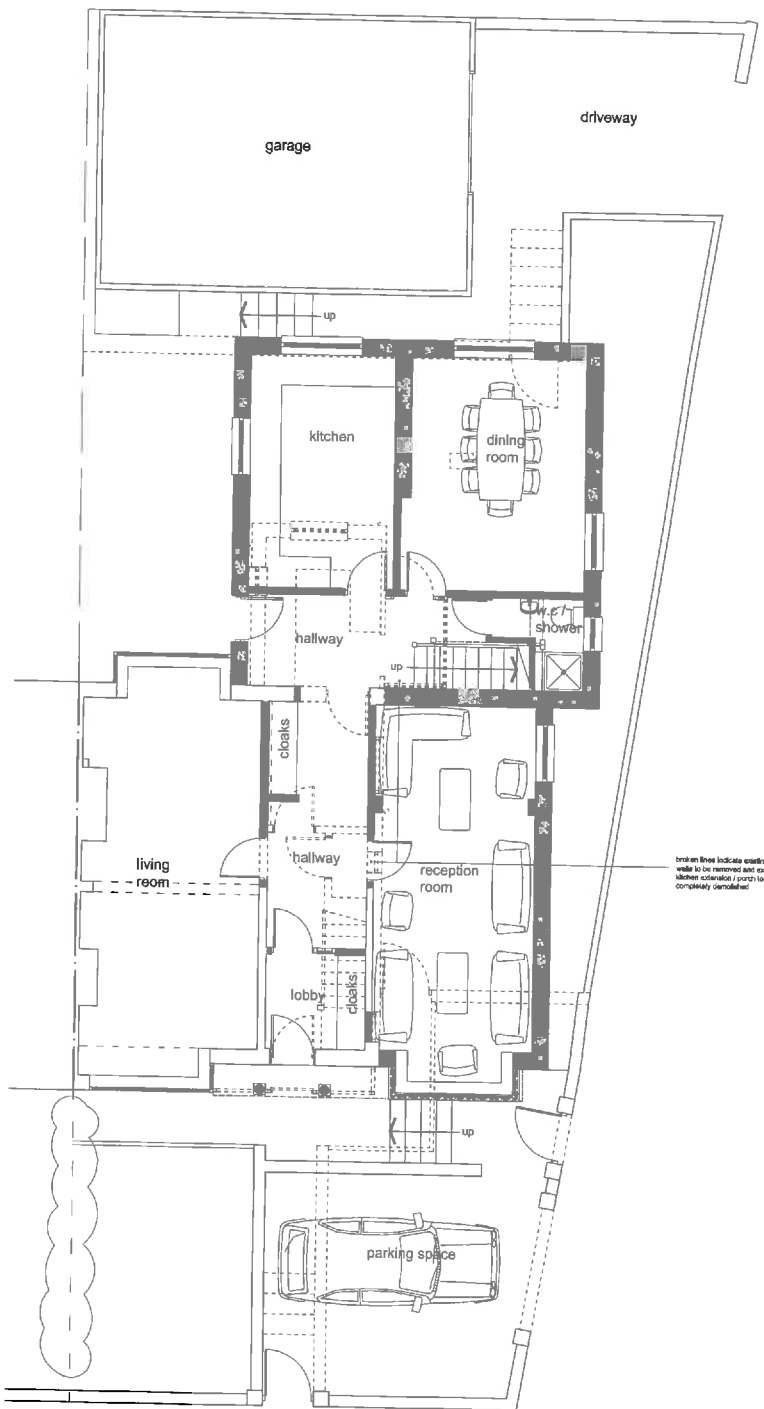
FIRST FLOOR LAYOUT



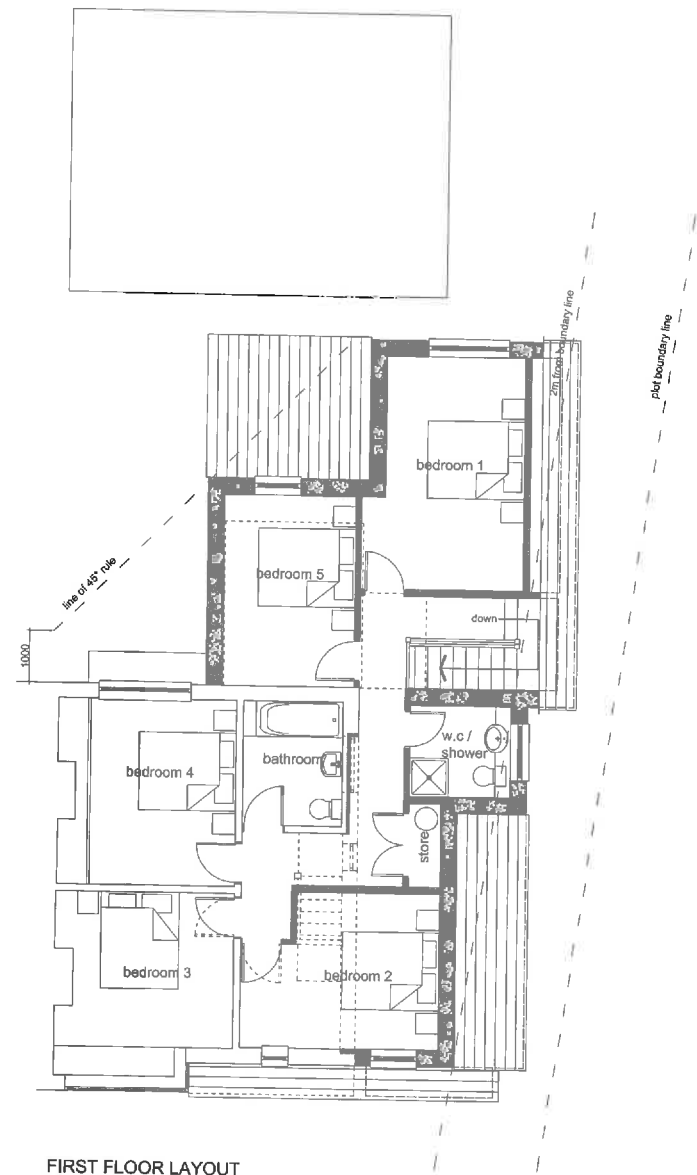
Project	PROPOSED EXTENSIONS / ALTERATIONS: 34 PARRHILLS ROAD, BURY
Drawing	EXISTING FLOOR LAYOUTS
Client	MR. TARIQ
Drawn	CPS
Scale	1:50
Orig. No.	12284.02
Orig. Size	A1
Date	NOV 2012

JOHN HOLT ARCHITECTS LTD.

3 MANCHESTER ROAD BURY LANGSHIRE BL9 0DR
 TELEPHONE 0181 784 8314 FACSIMILE 0181 784 8865
 E-MAIL: mail@johnholtarchitects.co.uk
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GROUND FLOOR LAYOUT



FIRST FLOOR LAYOUT

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- Contractors to check all dimensions on site before commencing work.
- All work to be carried out in accordance with current building regulations and safety regulations.
- This drawing is to be used in conjunction with all relevant conditions and/or schedules of work and any amendments or variations are to be notified to the architect before a final work commencement.

REV: _____ DATE: _____

broken lines indicate existing walls to be removed and existing kitchen cabinets / porch to be completely demolished



Project	PROPOSED EXTENSION/ALTERATIONS TO HARRIS'S ROAD BURY
Drawn	SCHEMATIC PROPOSED FLOOR LAYOUTS
Client	M.A. TAMES
Drawn	CPS
Scale	1:50
Dep. No.	12/04/09
Dep. Rev.	A1
Date	APR 2013

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 7 MANCHESTER ROAD BURY LANCASHIRE, ENGLAND
 TELEPHONE: 0161 764 6114 FACSIMILE: 0161 764 6665
 EMAIL: jh@johnholt.co.uk
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FRONT ELEVATION



SIDE ELEVATION

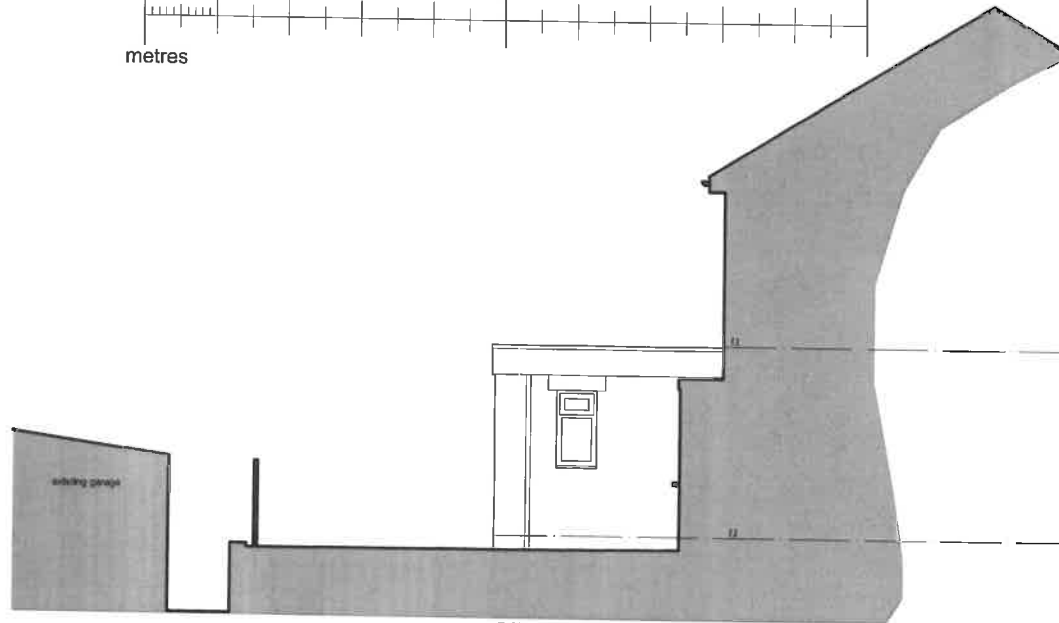
NOTES

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- * Contractors to check all dimensions on site prior to commencement of works.
- * All works to be carried out in accordance with current statutory Health and Safety Regulations.
- * This drawing is to be read in conjunction with all relevant consultants' and / or specialists' drawings / documents and any discrepancies or variations are to be notified to the architect before affected work commences.

REV.	AMENDMENTS	DATE



REAR ELEVATION



SIDE ELEVATION

Project	PROPOSED EXTENSIONS / ALTERATIONS: 34 PARKFIELD ROAD, BURY
Drawing	EXISTING ELEVATIONS
Client	MRS YARROLD
Drawn	CPB
Scale	1:50
Dwg. No.	120254-03
Dwg. Size	A2
Date	NOV 2012

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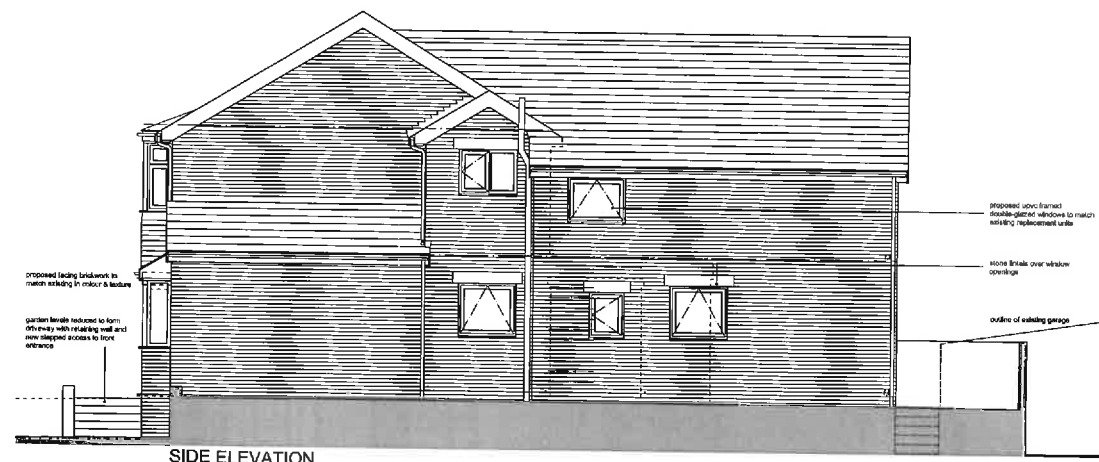
NOTES

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- Do not scale from prints. Use figure dimensions only.
- Connection to check all dimensions on site prior to commencement of work.
- All works to be completed in accordance with current statutory Health and Safety Regulations.
- This drawing is to be used to coordinate with all relevant contractors and to coordinate changes of materials and any dimensions or details to be noted in any written form should any variations occur.

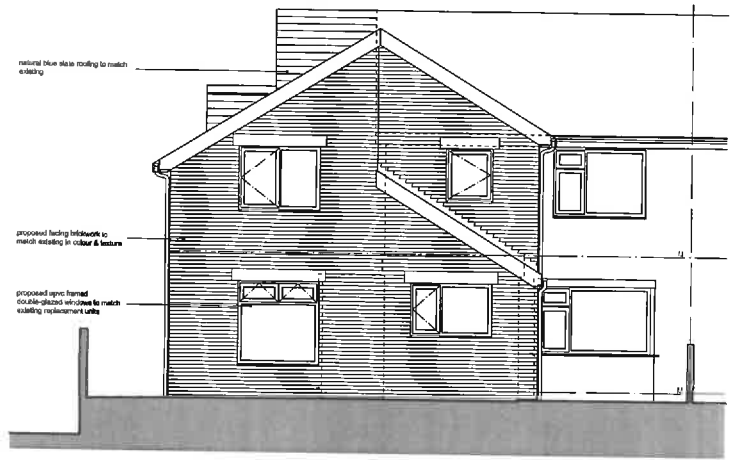
REV. AMENDMENTS



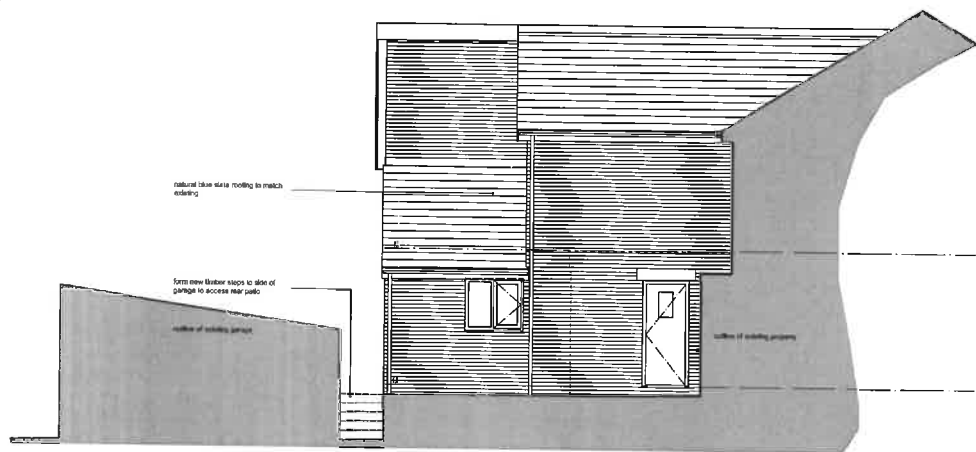
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



Project	PROPOSED EXTENSION AND RENOVATION OF FERRIS ROAD, BETH
Drawing	PROPOSED ELEVATIONS
Client	MR. TANG
Drawn	CPB
Scale	1:50
Proj. No.	1025A/12
Disc. No.	A1
Date	APR 2013

JOHN HOLT ARCHITECTS LTD.
 3, MANCHESTER ROAD, ALRY, LARGARBE, BUCKINGHAMSHIRE, HP8 4JH
 TEL: 01494 471111 FAX: 01494 471112
 WWW.JOHNHOLTARCHITECTS.CO.UK
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Ward: Prestwich - Sedgley

Item 07

Applicant: Mr Salah Aljanabi

Location: 106 Park Road, Prestwich, Manchester, M25 0DY

Proposal: Conversion of residential house to 6 no. apartments

Application Ref: 60414/Full

Target Date: 18/10/2016

Recommendation: Approve with Conditions

Description

The application relates to a large detached house in a distinctive Art Deco style, situated on the corner of Park Road and Westleigh Drive. It is two storey and rendered white to all elevations. At the front there is a hardstanding and driveway to the side, leading to a detached garage to the rear on the south side of the property. The property has been extensively renovated in the past but is currently vacant. There is a large rear garden with trees and shrubs along each boundary. The area is residential in character with detached houses on either side and across Park Road and a pair of semi-detached houses to the rear.

The application is a resubmission following a refusal of planning permission (60134) for a similar scheme in July this year. The main difference between the proposals is that this latest proposal improves the access, increases the amount of parking and has the parking spaces in a different arrangement.

The applicant proposes to convert the building into six apartments (five 2-bed and one 1-bed). The parking area and garage at the front and side would accommodate a total of 9 parking spaces with turning. The proposed vehicular access would utilise the existing access point onto Park Road which would be widened. The other existing vehicular access point, on the corner, would be closed and a pedestrian access formed. The bin store would be located in an enclosure in the front garden.

There would be no significant external alterations to the house itself although the existing hardstanding would be resurfaced and made permeable to provide parking and turning within the site. There is no intention to remove any trees, including the two large mature trees, a lime and a beech, either side of the access point. It should be noted that an emergency Tree Preservation Order has been made on the two trees either side of the access to ensure their continued protection. Some of the shrubs along the boundary with 104 would be cut back to accommodate the formation of the parking area at the side.

Relevant Planning History

50677 - Glazed frame to patio area at rear with first floor balcony - Approved 14/01/2009

60134 - Conversion of residential house to 6 no. apartments - Refused 26/07/2016 on grounds of inadequate parking and access.

Publicity

The following neighbours were notified by letter dated 24/08/16: Nos.89 - 117(odd), 94 - 112(even) Park Road, 1-4 Westleigh Drive, 59 - 65(odd) Downham Crescent.

Objection received from 93, 102 and 104 Park Road and 2 Westleigh Drive. Comments also from a neighbour on Downham Crescent (email provided). Concerns are summarised below:

- There is a lack of information on the plans, including north point, written dimensions, existing trees and boundaries.
- The Design & Access statement is not detailed enough.
- Increase in overlooking to the rear due to the use of former bedrooms as living rooms.
- No indication if there is to be any work done to the roof during the conversion. The roof caught fire during the previous alterations.
- No mention is made of fire and emergency exits.
- Insufficient space to manoeuvre vehicles within the site.
- Development works would result in loss of trees and shrubs and have a detrimental impact on the 'green corridor' and biodiversity. Bats, owls and other wildlife have been observed in the area.
- The parking would be immediately adjacent to the neighbouring property which would result in noise disturbance for the residents of 104.
- 9 parking spaces is insufficient. There should be a minimum of 2 parking spaces per property.
- Increase in traffic will add to problems in what is already a busy road at peak times.
- Existing drainage system for both foul and surface water is no longer sufficient and this proposal would exacerbate problems. A Sustained Urban Drainage Scheme (SUDS) should be considered.
- The energy efficiency claims within the application are not substantiated.
- Upkeep of the property remains an issue by the current owner, so it is unclear how he will maintain the flats.
- Flats to the standard planned by the developer are not in keeping with the area.
- There are no substantial changes to the plans from the previous rejected application. Whilst we would welcome improved maintenance and outside appearance for this significant substantial property 106 Park Road, is a large family house that has recently been tastefully extended in keeping with its Art Deco styling in keeping with the local area of large family houses. By proposing to convert it to six small flats, it will no longer be in character with the local social dynamics of the area. We are concerned this will adversely impact on the friendly family neighbourhood that already exists.
- The trees and hedges serve to screen the property, which is on a corner site, both from the street and from surrounding houses at the side and rear. They also provide much needed cover for birds and wildlife in a neighbourhood that has lost a number of native species of tree recently (although there is a large number of thick conifers). We would object to the cutting down of the trees and hedges around No.106. Rather, we would like to see proper management of the greenery included as part of the landscaping of the Proposal.
- Unclear how household waste would be dealt with.
- Health and safety issues relating to the development of the site - there has been rubbish burnt on the site previously.

Those who have made comments on the application have been notified of the Planning Control Committee.

Consultations

Traffic Section - No objection subject to conditions.

Environmental Health - No objection.

Fire Protection Dept Bury Fire Station - No objection.

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
HT2/4	Car Parking and New Development
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN5/1	New Development and Flood Risk
EN7	Pollution Control
NPPF	National Planning Policy Framework

SPD11	Parking Standards in Bury
EN8	Woodland and Trees
H2/4	Conversions
EN5/1	New Development and Flood Risk
EN8/2	Woodland and Tree Planting
SPD15	Residential Conversions
EN8/1	Tree Preservation Orders
EN8/2	Woodland and Tree Planting

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies - The main policies to consider are set out below:

UDP Policy H1/2 - Further Housing Development

The Council will have regard to the following factors when assessing proposals for housing development on sites not identified on the Proposals Map:

- a) the need to direct development towards the urban area;
- b) the availability of infrastructure;
- c) the need to avoid the release of peripheral open land, unless this can be shown to be consistent with urban regeneration;
- d) the suitability of the site in land use terms with regard to amenity, the nature of the local environment and surrounding land uses;
- e) other policies and proposals of the Plan.

H2/1 - The Form of New Residential Development

All new residential development will be expected to make a positive contribution to the form and quality of the surrounding area. Factors to be considered when assessing proposals will include:

- a) the height and roof type of adjacent buildings;
- b) the impact of developments on residential amenity;
- c) the density and character of the surrounding area;
- d) the position and proximity of neighbouring properties;
- e) the materials to be used in proposed developments, especially their colour and texture.

H2/2 - The Layout of New Residential Development

New residential development will be required to demonstrate acceptable standards of layout. Factors to be considered when assessing proposals will include:

- a) car parking provision;
- b) access for both vehicles and pedestrians, and provision for public transport;
- c) the possible need for traffic calming measures;
- d) density;
- e) space about and between dwellings;
- f) landscaping and screening;
- g) protection/provision of trees and hedgerows;
- h) open space/children's play areas;
- i) design for safety and security;
- j) access/facilities for the disabled;
- k) the existence of any public rights of way.

H2/4 - Conversions

Applications for the conversion of buildings into two or more self contained units, or the conversion of a building into a house of multiple occupation, will be considered with regard to the following factors:

- a) the effect on the amenity of neighbouring property through noise, visual intrusion, the position of entrances, impact of parking areas, extensions and fire escapes;
- b) the general character of the area and the existing concentration of flats;
- c) the amenity of occupants;
- d) the effect on the street scene of any changes to the external appearance of the building;
- e) car parking and servicing requirements.

Development Control Policy Guidance Note 15 - Residential Conversions (2008) supports Policy H2/4 and sets out the assessment criteria in more detail.

HT2/4 - Car Parking and New Development

The Council will require all applications for development to make adequate provision for their car parking and servicing requirements in accordance with the Council's car parking standards.

EN1/2 - Townscape and Built Design. The Council will give favourable consideration to proposals which do not have an unacceptable adverse effect on the particular character and townscape of the Borough's towns, villages and other settlements. Factors to be considered when assessing proposals will include:

- a) the external appearance and design of the proposal in relation to its height, scale, density and layout;
- b) the relationship of the proposal to the surrounding area;
- c) the choice and use of materials;
- d) access and other design features for the mobility impaired;
- e) the design and appearance of access, parking and service provision;
- f) landscaping, including the use of natural landscape features, and open space provision;
- g) the use of lighting.

EN7 - Pollution Control The Council will seek to control environmental nuisance and minimise pollution levels associated with development by limiting the environmental impact of pollution, wherever possible, in conformity with current legislation and prescribed standards.

Principle - The proposal enables residential development to be directed towards the urban area avoiding the need to release peripheral open land. The use of the site is already residential with available infrastructure and therefore the principle of residential development is acceptable subject to an assessment on amenity, the nature of the local environment and surrounding land uses.

Revised Plans - Revised plans and an amended Design and Access Statement have been received that are more informative, indicating, amongst other things, tree retention along the boundary. The plans have been made available to the public via the Council's website.

Visual Amenity and Character of Area - As there are no major extensions or alterations to the building, its distinctive Art Deco architectural style would be retained. In the main, the existing boundary planting would also be retained along both road frontages and the rear boundary. There would be some planting cut back along the side boundary with No.104 Park Road to accommodate parking but where appropriate, suitable replanting could be implemented by a landscaping condition. The main external changes would be the alterations to the access and parking on the frontage with the conversion of the existing vehicular access on the corner of Westleigh Drive into a pedestrian access, the widening of the access on the park Road frontage and the formation of parking in the site. The existing hedge and trees along the frontage would be retained and provide appropriate screening for the property and would not reduce the general appearance of greenery along the streetscape. Indeed an emergency Tree Preservation Order has been made on the two large trees, a Lime and a Beech) either side of the vehicular entrance. Whilst there is no

reason to assume there is any danger to these trees, a TPO would afford them added protection.

With regard to the impact of a small block of apartments being situated within an existing large dwellinghouse on Park Road, this is not considered to be so visually incongruous as to create a seriously discordant feature within the locality. The conversion of large dwellinghouses in a residential area such as this is not uncommon and, if carried out sensitively, does not have a significantly detrimental impact on the general streetscape.

The proposal is acceptable and would comply with UDP Policies H2/1, H2/2 and H2/4 and SPD 15 with regard to visual amenity.

Residential amenity - Given the established residential use of the site and the mature boundary planting and distances to the neighbours, there are no serious residential amenity issues arising. All the windows are existing and are a sufficient distance away from the boundaries with neighbours to avoid undue overlooking. At the rear there is a gap of over 16m to the rear boundary which also has heavy tree planting along it. To the side, there is a gap of 8m which is in excess of government guidance and boundary planting, via an appropriate condition, would also help reduce privacy concern further. It is noted that the neighbour at No.104 has a garage at the side with no principal habitable room windows facing the site. Whilst there would be more movement and noise from cars along this boundary, it would have a seriously detrimental impact on noise sensitive rooms nor would it be considered so serious as to warrant refusing the application. The proposal is acceptable and would comply with UDP Policies H2/1, H2/4 and associated SPD15 with regard to residential amenity.

Ecology - The proposal does not indicate any significant tree removal. There are two large trees, a Beech and a Lime, situated either side of the proposed entrance that need to be protected during and after development due to their value to the streetscene and as such an emergency TPO has been applied for in relation to these trees. It is considered that these trees should be retained with appropriate protection measures, without compromising the access arrangements. In addition, a suitable condition would require a scheme of works around the proposed access point that ensures that the trees, particularly the root structures, on either side of the entrance are not damaged during development and when it is brought into use.

As there are no major alterations to the roof and trees are to be retained, there should be no significant impact on bats and birds. In general the 'green corridor', comprising planting along Park Road would not be compromised by this proposal. Indeed, given the rather overgrown nature of the site, it would benefit from some landscape management. It is considered appropriate to attach an informative to any approval notice making the developer aware of the current legislation regarding protected species.

Access and Parking - The 9 parking spaces proposed at the front, side and within the garage represent 150% provision and this is considered to be sufficient for a development of this nature in this location and is in line with guidance in the Council's Development Control Guidance Note - SPD11 Parking Standards in Bury. With appropriate parking and turning facilities, allowing cars to enter and exit in forward gear, the proposal is now considered to be acceptable and comply with UDP Policies H2/2 The Layout of New Residential Development, HT2/4 Conversions, HT2/4 Car Parking and New Development and associated guidance in SPD11 Parking Standards in Bury and the NPPF.

Drainage - With regard to surface water, the new driveway, turning and parking areas would be resurfaced with permeable materials to reduce surface water run-off from the site. If approved, there would be an appropriate condition (see condition 9) requiring a Sustainable Urban Drainage Scheme (SUDS) to be submitted to the Local Planning Authority and implemented in accordance with it. This would comply with the UDP Policies and the NPPF.

With regard to foul water/waste, this would be subject to the United Utilities and Building Control requirements.

With regard to concerns relating to flooding to the garden of the property at the rear, whilst this is a problem that needs investigating, it is not evident that the problem arises from problems occurring on the application site. Indeed, given that the new hardstanding areas would be permeable and there would be a condition requiring drainage details to be submitted and approved by the Local Planning Authority prior to commencement of development, the proposal may actually improve drainage and it is noted that the existing large rear garden and trees on the boundary would be retained. In any case, the proposal with appropriate conditions, is considered to be acceptable and complies with UDP Policy and the NPPF.

Fire Safety - Given the design and layout of the apartments, there would not be a need to install fire escapes on the outside of the building. With regard to works to the roof, whilst none are specifically mentioned in the application, any works other than normal repairs, would be subject to current Building Regulations. Any significant alterations to the building or erection of other structures would require planning permission in any case and would be considered on their own individual merits. No objection has been received from the fire officer.

Energy Efficiency/Sustainability - Concerns about energy efficiency and the sustainability of the scheme have been questioned by an objector. The revised Design and Access Statement provides more information in this regard and indicates proposals to design the conversion to be 'better than current Building Regulations Standards'. Whilst it would not be reasonable to refuse the scheme if photovoltaic heat pumps were not installed or a 'stack' ventilation system introduced, these would be subject to Building Regulations.

Refuse - The proposal includes a timber bin store facility in the front/side garden area, close to the pedestrian access. Bins would be put out on the street on collection days. This is considered to be acceptable.

Objections - The relevant planning related concerns raised by the neighbours have been addressed in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered F01/SA/01A, 02B, 03, 04H, 05, 06A and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Details of the materials to be used in the proposed hardstanding and boundary treatment, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. The car parking and garaging indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the extension hereby approved being brought into use.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
5. Provision shall be made within the site to the written satisfaction of the Local Planning Authority to enable vehicles to enter and leave the site in forward gear, and shall subsequently be maintained free of obstruction.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of highway safety.
6. A landscaping scheme shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. The scheme shall include details of planting along the rear of the parking on the side/south-east boundary. It shall be implemented not later than 12 months from the date the building is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
7. No trees, unless indicated otherwise on the approved plans, shall be felled, lopped or topped before or during the construction period without the previous written consent of the Local Planning Authority.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
8. No development shall commence unless and until a scheme detailing all tree protection measures, including construction methods for the hardstanding around the trees either side of the proposed vehicular entrance, has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the approved measures have been implemented.
Reason. To avoid the loss or damage to trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
9. No development shall be commenced until a scheme for the provision of foul and surface water drainage works has been submitted to and approved by the Local Planning Authority. The scheme, which shall include SUDS options, shall be completed in accordance with the approved plans.

Reason: To reduce the increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal.

10. The proposed driveway and paved area at the front of the property shall be constructed of permeable/porous materials as set out in the Dept of Communities and Local Government publication "Guidance on the Permeable Surfacing of Front Gardens" and maintained in situ whilst the proposed dwelling is occupied to the satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site pursuant to Policy EN5/1 - New Development and Flood Risk and the NPPF.

11. The proposed bin store shall be made available for use before first occupation.

Reason. In the interests of visual amenity pursuant to UDP Policy H2/4 Conversions.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60414

**ADDRESS: 106 Park Road
Prestwich**

Planning, Environmental and Regulatory Services

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60414

Photo 1



Photo 2



Photo 3



Photo 4

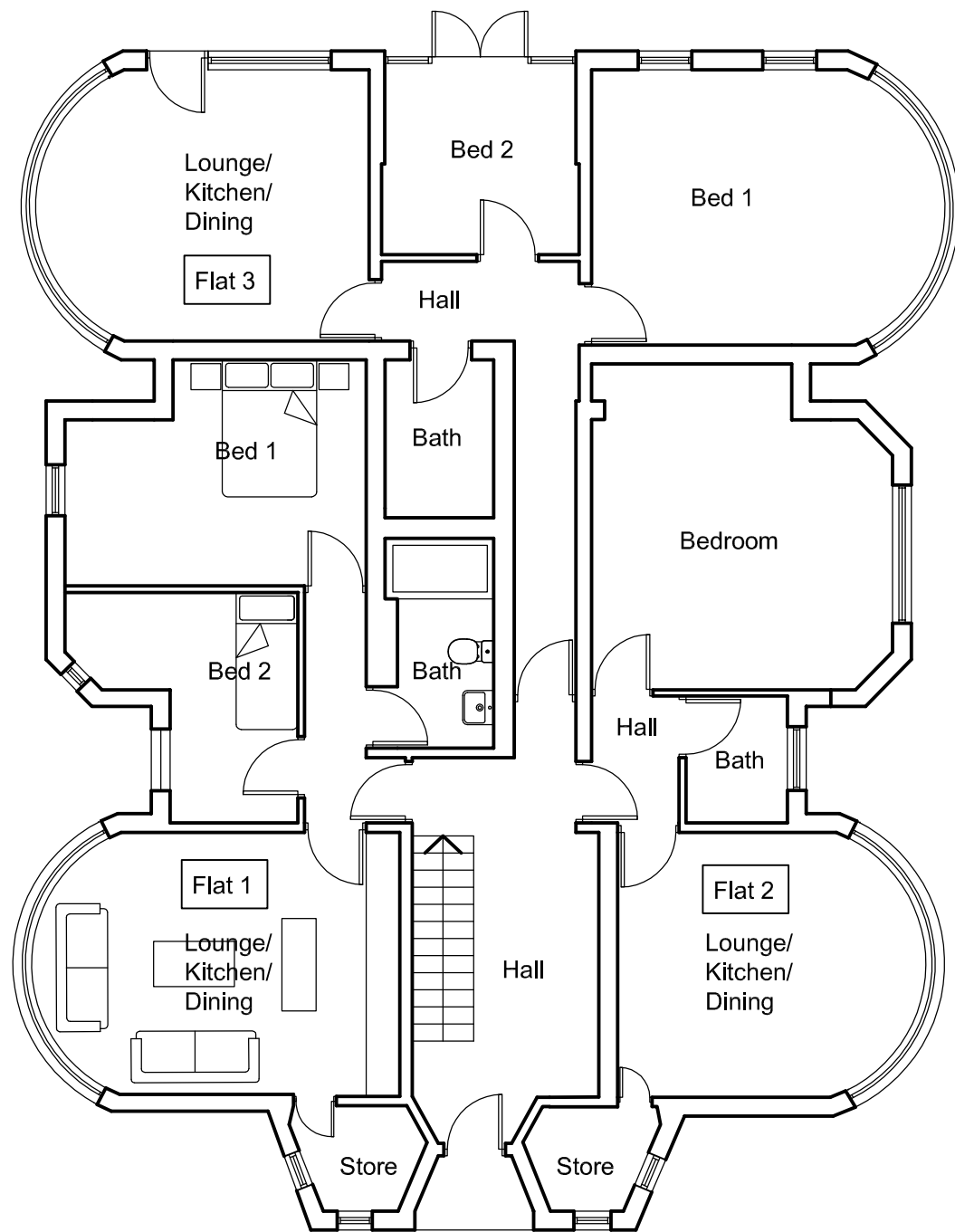


Photo 5

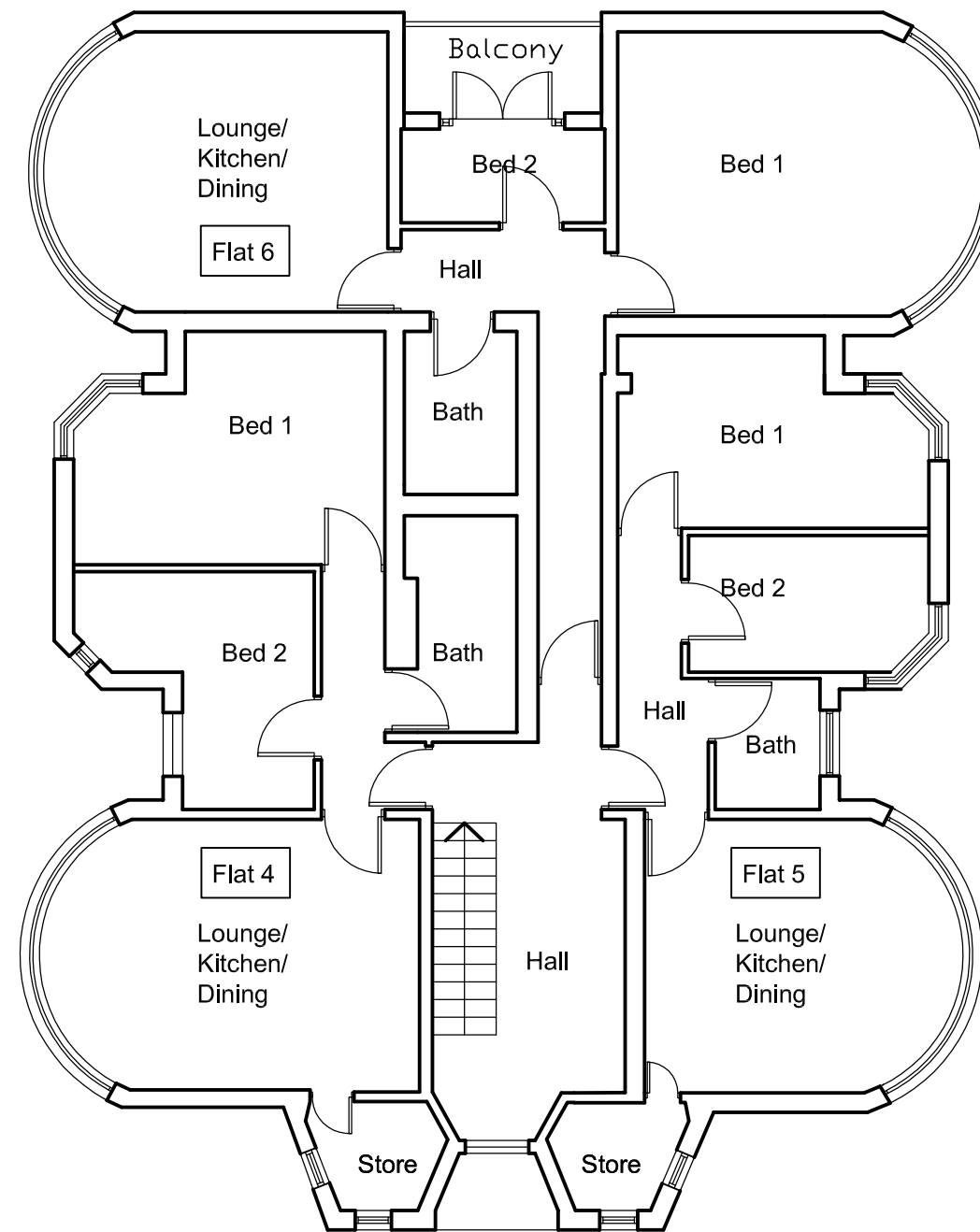


Photo 6





Ground Floor Plan



First Floor Plan

Notes :-
Do not scale from this drawing .

All dimensions to be checked on site prior to the commencement of works.

All work & drainage to be to the entire satisfaction of the local authority , statutory undertakings & in accordance with the current building regulations.

Any drains passing under building to be exposed & encased in 150mm conc.

All structural timber is to be stress graded

Rev.	By	Date



Chartered Architects & Interior Designers
1 Cranleigh Avenue
Stockport
SK4 3 PZ

Tel : 07581 056 056

Site
108 Park Road
Prestwich

Title
Proposed Ground and First Floor
Plans

Project Manager/ Checked	Drawn By	Scale	Date
		1:100 @ A3	2013
Arch./Des.	Drawing Number	Rev.	
	F01/SA/02	B	

Ward: Bury West - Elton

Item 08

Applicant: Bury Council

Location: Killelea House, Brandlesholme Road, Bury, BL8 1JJ

Proposal: First floor extension and remodelling of building with new main entrance at front; Creation of outdoor covered outdoor therapy area and outdoor terrace; New roadway within the site, widened access from Brandlesholme Road and additional on site parking; Lighting to external areas; Refuse storage compound and cycle racks accessed from existing service road rear and demolition of 2 no. existing garages

Application Ref: 60425/Reg 3 Council's Own Development **Target Date:** 26/09/2016

Recommendation: Approve with Conditions

Description

The application relates to an intermediate care facility located on Brandlesholme Road. The premises provides a range of services to adults across the Bury area including rehabilitation for people who are either discharged from hospital or require intensive therapy. The building is set back from Brandlesholme Road with a single storey block and plant tower facing towards the road and an "L" shaped two storey element to the rear of this. The buildings are largely constructed from facing brick work with tile hanging and UPVC cladding elements. The facility is set within it's own grounds, and is fronted by a low-level stone wall.

Planning permission is sought for the construction of a first floor extension to the south side of the building, above the existing side entrance, that will follow the existing ridge line of the "L" shaped two storey building. Re-configuration of the internal layout of the building also sees a new main entrance to the front elevation facing towards Brandlesholme Road with a new outdoor terrace to the front of the building. Creation of an outdoor therapy area including steps, ramps, kerbs and pavements is proposed to the north elevation of the building. A refuse store and cycle rack are also proposed in front of the north elevation.

Construction of a new roadway within the site is proposed, with the creation of an additional 19 on-site parking for visitors, guests and staff adjacent to the proposed new entrance and to the north side of the building. This will include the demolition of 2 garages currently located on the north boundary of the site. New low level lighting is proposed for external areas including the building perimeter, roadways, pedestrian routes and car parks.

Relevant Planning History

41495 - Two storey extension at side; conservatory - Approve with Conditions 14/01/2004

42221 Canopy to main entrance; alterations to windows - Approve with Conditions 19/04/2004

11/0210 - Construction of garages - 29/06/2011

Publicity

Neighbour letters sent to 34 neighbouring properties on the 10/08/2016. Two site notices posted 18/08/2016.

1 letter of support from No. 10 Balcombe Close stating that the improved facilities for the elderly are much needed.

1 objection from No. 11 Westerham Close with concerns regarding:

- Overlooking
- Noise
- Potential damage to property caused by the removal of trees
- Security during construction which could entice people looking for tools and materials close to their home
- Dust and noise during construction periods
- Increased noise from the main road which is currently dampened by trees
- Risk of flooding caused by the removal of the trees
- Car park is too close to residential properties
- Increase in emergency vehicle spaces which are in direct line of sight from property which could cause disruption
- A security gate should be included to prevent "undesirable elements" using the car park
- loss of value to property

2 letters with comments from No. 5 and 7 Westerham Close with regards to:

- Concerns with proximity of car park to boundary fences and a request to install fencing similar to a motorway to decrease noise from staff car park which could be used 24/7
- Concerned with possible light pollution from street lighting in the proposed car parks
- Request for proper storage facilities for large bins currently stored near to fences due to rubbish blowing into property and the noise caused by bin lorries
- Care given when felling trees near to fencing
- Request that contractor maintains proper security
- Request that contractor is considerate in terms of noise and dust control and protection of boundary fences.

Following the receipt of amended and additional plans further neighbour letters were sent on the 29/09/2016

One further objection from No.11 Westerham Close confirming previous objections and stating that these have not been addressed in the amended plans and additional information published.

All respondents have been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection raised subject to conditions relating to a construction traffic management plan, measures to ensure that mud and materials are not carried onto the highway, provision of accesses, turning facilities and demarcation of parking spaces.

Drainage Section - No objections to the proposed development subject to a pre-commencement condition relating to surface water drainage proposals.

Environmental Health Contaminated Land - This site has historically been in use as open land adjacent to Brandlesholme New Hall. Killelea House was developed in the 1960s. A depot was historically situated to the site to the north east. There are no registered landfill sites within 250m of the site.

In line with National Planning Policy Framework, the site is proposed for a sensitive end use we recommend that a condition is attached where during any works on site, unforeseen contamination is suspected or found, or contamination is caused, works on the site shall cease and the Local Planning Authority shall be notified immediately.

Environmental Health - Commercial Section - No response.

Env Health Pollution Control - No response.

Greater Manchester Ecology Unit - Potential ecological constraints include nesting birds,

bats and loss of trees. A bat survey has found no evidence of roosts on the site. Outstanding issues can be resolved via informative and condition.

Waste Management (David Pascoe) - No response.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN1/2	Townscape and Built Design
HT5/1	Access For Those with Special Needs
HT2/4	Car Parking and New Development
CF1	Proposals for New and Improved Community Facilities
EN9	Landscape
EN8/2	Woodland and Tree Planting
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN8/2	Woodland and Tree Planting
EN7	Pollution Control
EN7/2	Noise Pollution
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - CF1 - Proposals for new and improved community facilities seek to support proposals where there would be no conflict with amenity or the local environment. The application seeks to make improvements to the existing care facility to provide for the existing and future needs of residents. The proposed alterations will enable a more viable facility to continue to operate in the Borough.

Design and Layout

UDP Policy EN1/2 - Townscape and built environment seeks to prevent unacceptable adverse impact on the particular character and townscape of the Borough's towns, villages and other settlements.

The proposed first floor extension is relatively simple in design and will continue the existing ridge line and run flush with the side elevations of the two storey building to the rear. The gable wall will be located approximately 32 metres from the site boundary with Brandlesholme Road, and whilst closer to the public vista due to the continuation of the ridge line and elevations the outlook from Brandlesholme Road would remain relatively unchanged. The proposed extension would be constructed from matching materials creating a harmonious development.

The proposed new entrance and terrace doors would be incorporated into the existing front elevation, and includes the removal of windows and lower brick panels. The new doors would be constructed of coloured aluminium-glazed screening with matching doors together with a new steel canopy with glazed roof for the terraced area. It is considered that these alterations would bring direct attention to the entrance as you approach the building, and would improve the principal facade of the building.

A steel framed canopy with glazed roof is proposed to cover an outdoor therapy area in a recess to the rear of the single storey front elevation of the building. A cycle park and refuse storage constructed from 1.8 metre timber weatherboarding is proposed adjacent to this. This area is screened from public view by the existing buildings to the front of the site and as such would not impact on the character of the street scene.

The front of the site facing Brandlesholme Road is currently naturally landscaped with a mixture of mature trees of different species and sizes. Whilst the proposal would include the removal of a limited amount of trees and soft landscaping elements, the area of hardstanding created would be screened by existing and proposed planting and is considered not to pose any visual amenity issues. The layout of the new parking areas would not interfere with the accesses into or circulation around the building.

As such, the proposals are considered to comply with EN1/2 and CF1.

Residential Amenity

There are no adopted aspect standards between residential and non-residential uses however, Supplementary Planning Document 6 provides guidance on aspect standards between residential properties and as such, would be a reasonable guide in this case.

SPD 6 requires a distance of at least 7 metres from a habitable room window, to a directly facing boundary and a distance of at least 20 metres between directly facing habitable room windows. The proposed first floor office windows would be located approximately 32.5 metres from the boundary with the dwellings on Westerham Close and a minimum of approximately 45 metres from the closest dwelling at No.9 Westerham Close. In this instance the proposal far exceeds the aspect standards set out within SPD 6 and as such is considered to be acceptable.

The car parking area located adjacent to the rear boundaries and gardens of the dwellings on Westerham Close. Supplementary Planning Document 11 states that communal car parking should not normally be provided within 5 metres of a habitable room window of any dwelling. Whilst this relates to car parks associated with residential developments this distance is deemed necessary to protect the amenity of occupiers through engine noise and exhaust fume pollution and as such can be applied to this application. In this instance the proposed car parks are located approximately 10 metres from the rear of No. 11 Westerham Close and 16 metres from the rear of No. 9 Westerham Close.

In addition to this the car parks are located 3.5 metres from the rear boundaries of these properties, with the spaces running parallel to the boundary and new planting that will create an additional buffer. The proposed soft landscaping adjacent to the boundary is for species that range in height between 1 m - 3 m. A further condition asking for an acoustic fence will also be attached in order to maintain existing residential amenity. In this instance therefore it is considered that the proposal complies with guidance and as such is acceptable.

The submitted Design and Access Statement proposes the use of LED bollards lighting for car park areas and paths, with downward directional LED wall lighting to the perimeters of the building for access and security. It is considered that low level lighting would not impact on the residential amenity of the neighbouring properties which are screened from the site by fencing. The proposed LED lighting on the perimeter walls would be downward facing so as to illuminate paths and entrances, but to avoid glare for the adjacent land uses. In this instance a condition has been attached for a scheme to be submitted to ensure that the lighting implemented conforms with the proposed Design and Access Statement.

Highways and Parking

The facility currently has 36 bedrooms and 4 flats, and it is not proposed to increase occupancy at this time. Maximum parking standards within SPD 11 for residential homes requires 1 standard space per 4 bedrooms. This equates to a maximum of 10 spaces which are already in existence at the site, however parking standards for care and nursing homes

will be considered on their own merits and nature/location of the proposal. It is proposed to maintain the existing 10 spaces as staff car parking adjacent to what will become a staff only entrance and to create a further 19 spaces at the site.

It has been identified within the Design and Access Statement that combined with the impact of the neighbouring William Hare Group property, there is currently a problem with parking on the site due to the increase in car usage and changing working patterns. This had led to cars parking alongside a shared access road, on the verge adjacent to the site entrance and on the rear service road. This arrangement has led to reduced visibility, safety concerns and damage to landscaped areas within the site. In addition to this a statement has been submitted by the applicant stating that the premises is not a residential home, but rather an intermediate care unit which requires a multi disciplinary team to deliver the service at the premises and throughout the Borough and therefore has differing needs in terms of access to vehicles by staff during the working day. In this instance therefore it is considered that the proposed increased parking provision is acceptable.

The proposal would also lead to the provision of 5 disabled parking bays which exceeds the minimum standards and is therefore acceptable. This includes 3 new bays adjacent to the new entrance which would facilitate access to the building for all.

Following consultation with the Traffic Section amended plans have been submitted to address some issues relating to access and the flow of traffic within the site. Following submission of these plans no objection to the scheme has been raised by the Traffic Section subject to conditions which have been attached.

Ecology

UDP Policy EN/6 and EN6/3 seek to retain, protect and enhance the natural environment and features of ecological value. Policy EN8/2 states that in considering developments the Council will encourage the planting of hedges, trees and woodlands.

The buildings and trees on site have been assessed for bat roosting potential and emergence surveys carried out. No evidence of bat roosts were found and the building was assessed as low risk and the trees as a negligible risk. An informative has been added to the recommendation to ensure that if any bat is found during demolition all work will cease and a suitably licenced bat worker employed to safeguard.

Potential nesting bird habitat will be impacted on due to the removal of trees at the site. A condition has been attached to ensure that no works to trees shall occur or building works commenced between the 1st March and 31st August and for a landscaping scheme to be submitted to mitigate the loss of the trees.

In this instance therefore the proposal is considered to comply with UDP policies EN/6, EN6/3 and EN8/2.

Drainage

The site is not located within a Flood Zone or critical drainage area and the drainage section have reviewed the proposal and have raised no objection to the scheme subject to a condition. This condition has been attached and requires details of surface water drainage proposals prior to development to ensure that the development would not increase the flood risk for residents of adjacent properties.

Neighbour Objections

It is considered that the impact of the proposal in terms of residential amenity and drainage/flooding have been addressed in the above report.

It is considered that the addition of security gates at this site to prevent people using the new parking is not required. The site has a well established use within the local community and the parking areas clearly relate to the building and are set behind boundary walls which define the site from a public space.

A dedicated refuse storage area has been created adjacent to the service access road to simplify collection of bins from the site.

Matters covered by non-planning legislation, problems arising from the construction period and loss of property value are non-material planning considerations and as such are not relevant to the decision.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. This decision relates to drawings numbered 15608 A 01P Rev A, 15608 A 04P, 15608 A 05P, 15608 A 07P, 15608/33, 15608/34, 15608/35, 15608/36, 15608/37 and 15608/30/A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
2. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and agreed in writing with the Local Planning Authority and shall confirm/provide the following:
 - Hours of operation and number of vehicle movements;
 - Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site;
 - Parking on site or on land within the applicant's control of operatives' and construction vehicles together with storage on site of construction materials.

The approved plan shall be adhered to throughout the construction period and the measures shall be retained and facilities used for the intended purpose for the duration of both periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of construction materials.

Reason. No details have been submitted to mitigate the impact of the demolition/construction traffic generated by the proposed development on the adjacent residential streets and to ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period, in the interests of highway safety.

3. No development shall commence unless and until details have been submitted to and approved by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the periods of demolition and construction.
Reason. No details have been submitted to ensure that the adopted highways are kept free of deposited material from the ground works operations.

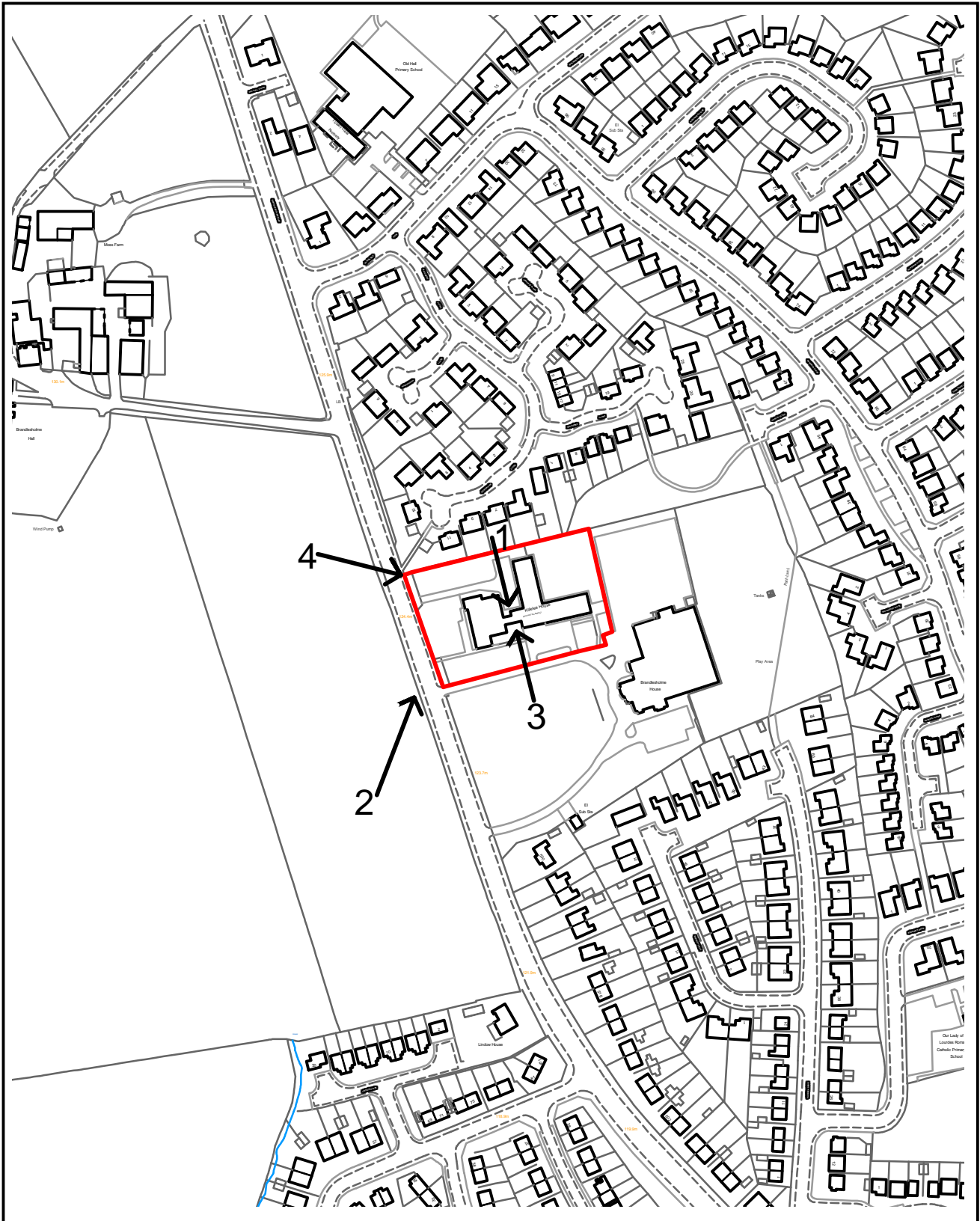
4. Notwithstanding the details indicated on approved plans references 15608/30 Revision A and 15608 A 01P Revision A, the development hereby approved shall not be brought into use unless and until the following have been implemented to the written satisfaction of the Local Planning Authority:
- Widening of the northerly site access onto Brandlesholme Road to a minimum width of 5.5m including all works to remove the affected boundary wall and provide a 0.5m rubbing strip;
 - Alterations to the existing pedestrian route from Brandlesholme Road including the provision of a crossing point across the proposed one-way link road;
 - Provision of car park informatory signs in accordance with Diagrams 833 -836 of The Traffic Signs Regulations and General Directions 2002 and/or a scheme of road markings at the existing service road access/egress onto Brandlesholme Road and at the proposed access/egress points of the proposed one-way link road;
 - Alteration of/enhancements to the existing pedestrian access route road markings affected by the formation of the access to the proposed one-way link road.
- Reason. To ensure good highway design and to reinforce the proposed one-way working arrangements, in the interests of highway safety.
5. The turning facilities indicated on the approved plans references 15608/30 Revision A and 15608 A 01P Revision A shall be provided before the development is brought into use and shall subsequently be maintained free of obstruction at all times.
- Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety.
6. The car parking indicated on approved plan references 15608/30 Revision A and 15608 A 01P Revision A shall be surfaced, demarcated and made available for use to the written satisfaction of the Local Planning Authority prior to the development hereby approved being brought into use and thereafter maintained available for use at all times.
- Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
7. No works to trees or shrubs shall occur or building work commence between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no active bird nests are present which has been agreed in writing by the LPA.
- Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
8. A landscaping scheme shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. The content of the plan should include elements to mitigate for loss of trees shrubs and bird nesting habitat. It shall be implemented not later than 12 months from the date the extension is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
- Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2

– Woodland and Tree Planting of the Bury Unitary Development Plan.

9. Where during any works on site, unforeseen contamination is suspected or found, or contamination is caused, works on the site shall cease and the Local Planning Authority shall be notified immediately. The developer shall then produce a risk assessment and submit remediation proposals, if required, for approval to the Local Planning Authority. On approval of the remediation strategy, the development shall then be carried out in accordance with the approved details and process including any required timescales.
Reason. To secure the satisfactory development of the site in terms of human health and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
10. No development shall commence until a scheme has been submitted to the Local Authority in respect of the design, height and layout of the proposed LED lighting.
Reason. No details have been submitted and to maintain the visual and residential amenities of the area pursuant to Policy EN7 and EN1/2.
11. The proposal hereby approved shall include acoustic fencing adjacent to the rear of the properties along Westerham Close in accordance with an acoustic attenuation scheme to be submitted to and approved in writing by the Local Planning Authority before the development commences. The acoustic attenuation scheme hereby approved shall be implemented in full before use of the car parks first commences.
Reason. To safeguard the amenities of the occupiers of nearby residential properties from impacts arising from noise pursuant to UDP Policy EN7/2 and EN1/2.
12. Development shall not commence until details of surface water drainage proposals have been submitted to and approved by the Local Planning Authority. The proposed surface water scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance. It must be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements for any SuDS features should also be provided.
Reason: To promote sustainable development and reduce flood risk. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. The applicant must demonstrate that the development will not increase flood risk for residents of adjacent properties

For further information on the application please contact **Helen Goldsbrough** on **0161 253 5277**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60425

**ADDRESS: Killilea House
Brandlesholme Road, Bury**

Planning, Environmental and Regulatory Services

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Bury
COUNCIL

60425

Photo 1



Photo 2



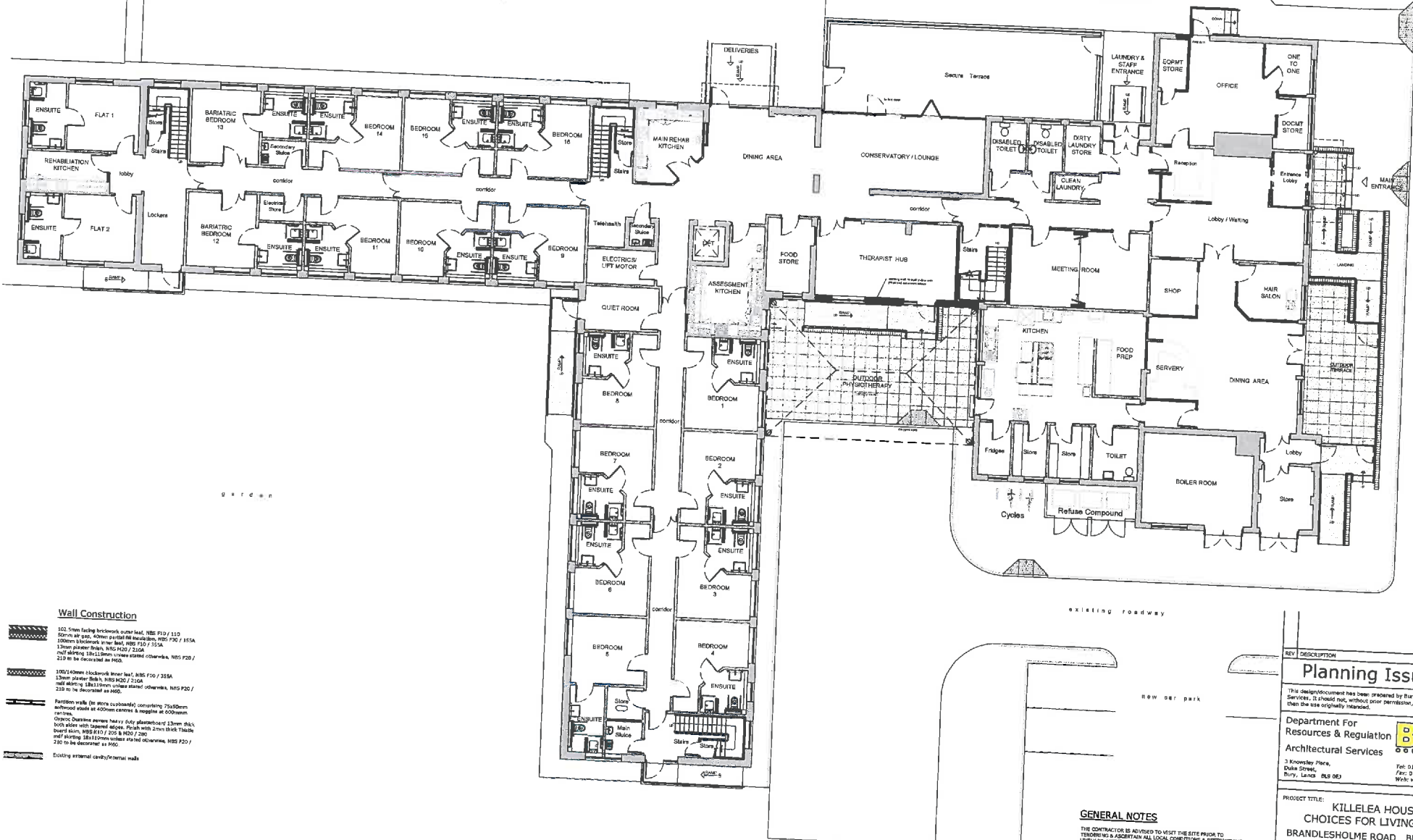
60425

Photo 3







Photo 4





Wall Construction

- 
 102.5mm facing brickwork outer leaf, HSB F10 / 110
 20mm air gap, 40mm partial fill insulation, HSB F20 / 155A
 100mm blockwork inner leaf, HSB F10 / 110A
 13mm plaster finish, HSB F20 / 210A
 and HSB F20 / 210B to be decorated as HSB.
- 
 100/140mm blockwork inner leaf, HSB F10 / 255A
 13mm plaster finish, HSB F20 / 210A
 and HSB F20 / 210B to be decorated as HSB.
- 
 Partition walls (in work cupboard) comprising 75x100mm
 softwood studs at 400mm centres & noggins at 500mm
 centres.
 Gypsum board on both sides heavy duty plasterboard of 13mm thick
 both sides with covered edges. Finish with 2mm thick fibre
 board skin, HSB F10 / 200 & HSB F20 / 200
 and HSB F20 / 210 to be decorated as HSB.
- 
 Existing external cavity/external wall.

**GENERAL ARRANGEMENT PLAN
PROPOSED GROUND FLOOR**



GENERAL NOTES

THE CONTRACTOR IS ADVISED TO VISIT THE SITE PRIOR TO TENDERING & ASCERTAIN ALL LOCAL CONDITIONS & INSTRUCTIONS LIKELY TO AFFECT THE EXECUTION OF THE WORKS. NO CLAIMS ARISING FROM FAILURE TO DO SO WILL BE CONSIDERED.

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THE CONTRACTOR IS TO MAKE GOOD ALL WORKS DESTROYED.

THE CONTRACTOR TO COMPLY WITH CON REGULATIONS AND HEALTH AND SAFETY REQUIREMENTS WHERE APPROPRIATE.

Planning Issue

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Department for Resources & Regulation
Architectural Services

Bury Council

3 Knowlsey Place,
 Duke Street,
 Bury, Lancs BL8 8EP

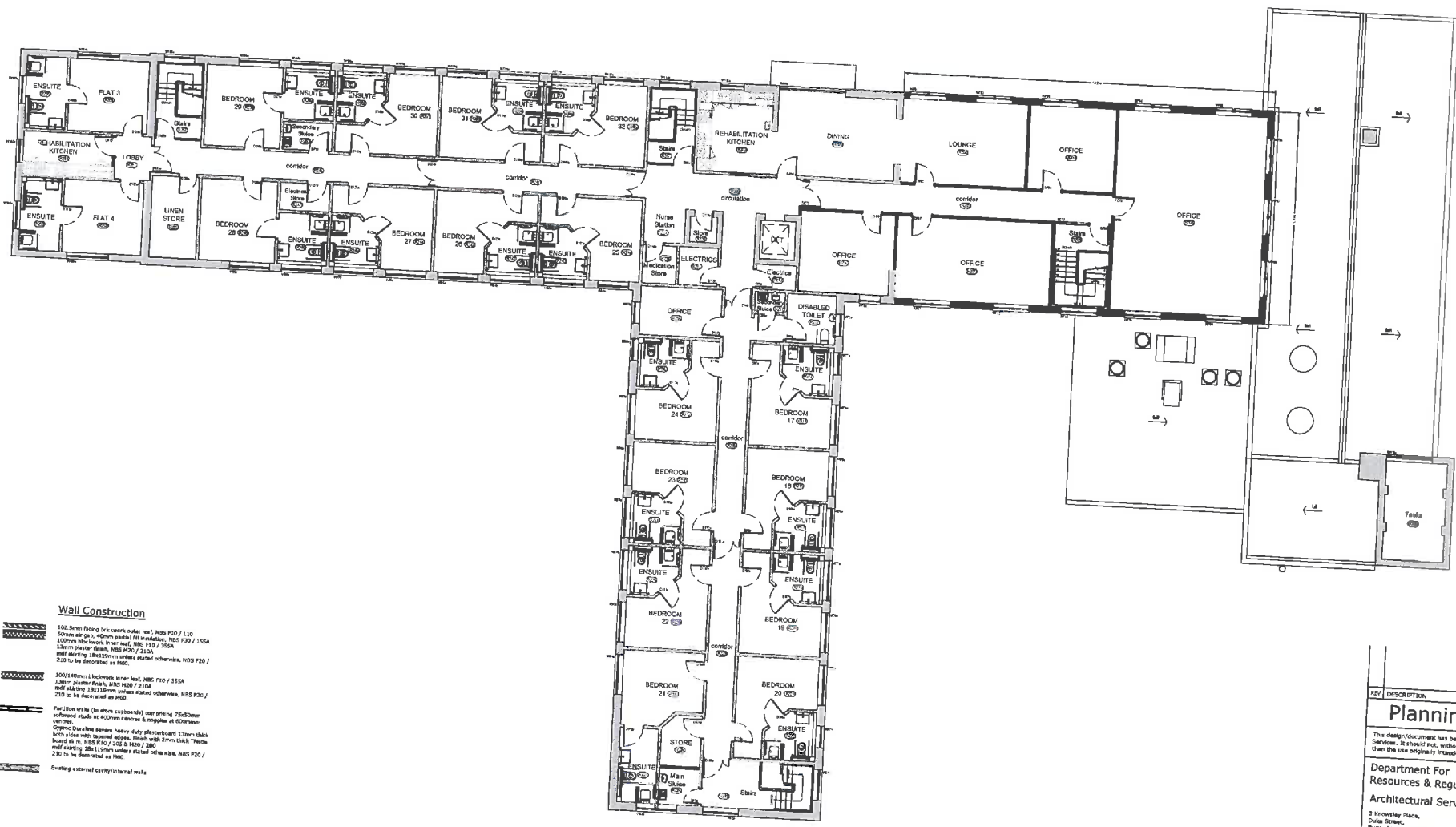
Tel: 0161 253 6989
 Fax: 0161 253 6195
 Web: www.bury.gov.uk

PROJECT TITLE:
**KILLELEA HOUSE
 CHOICES FOR LIVING WELL
 BRANDLESOLME ROAD BURY BL8 1JJ**





DRAWING TITLE:
**REFURBISHMENT OF
 INTERMEDIATE CARE FACILITY
 PROPOSED GA PLAN - GROUND FLOOR**

DRAWN BY:	NB	DATE:	06/16	ISSUE NUMBER:
CHECKED BY:	RJV	DATE:	06/16	DATE OF ISSUE:
SCALE:	1:100 @ A1			

DRAWING NUMBER:
 15608 A 04P



Wall Construction

- 
 100.0mm firing brickwork outer leaf, MS F20 / 110
 100mm air gap, 40mm partial RI insulation, MS F20 / 110A
 100mm blockwork inner leaf, MS F10 / 350A
 13mm plaster finish, MS F20 / 210A
 roof electric (MS F20) unless stated otherwise, MS F20 / 210 to be decorated as MS.
- 
 100/140mm blockwork inner leaf, MS F10 / 350A
 13mm plaster finish, MS F20 / 210A
 roof electric (MS F20) unless stated otherwise, MS F20 / 210 to be decorated as MS.
- 
 Fabricate walls (to allow 100mm) comprising 75/50mm
 softwood studs at 400mm centres & noggings at 600mm
 centres
 125mm Duralite cavity heavy duty plasterboard 130mm thick
 both sides with capped edges. Finish with 2mm thick Thera
 board skim. MS F10 / 210 & MS F20 / 280
 roof electric (MS F20) unless stated otherwise, MS F20 / 210 to be decorated as MS.
- 
 Existing external cavity/external walls

**GENERAL ARRANGEMENT PLAN
PROPOSED FIRST FLOOR**




GENERAL NOTES

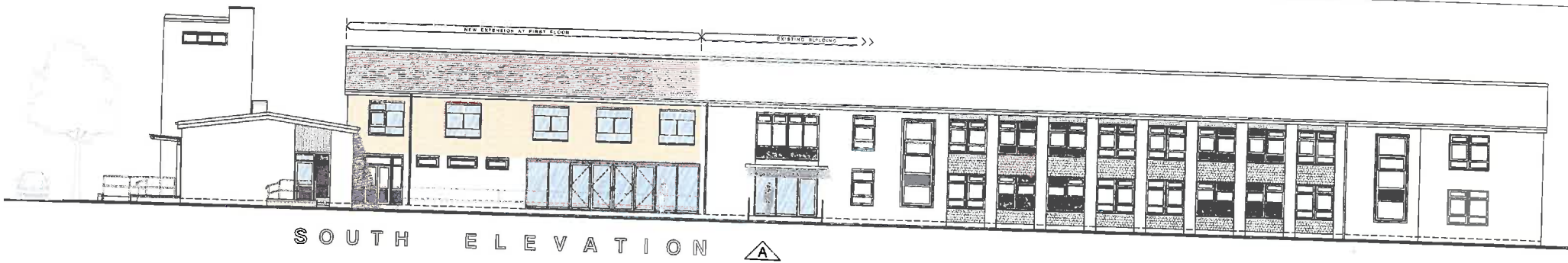
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ALL WORKMANSHIP AND MATERIALS TO COMPLY WITH BUILDING REGULATIONS, BS EN 12600, BS EN 12601, BS EN 12602, BS EN 12603, BS EN 12604, BS EN 12605, BS EN 12606, BS EN 12607, BS EN 12608, BS EN 12609, BS EN 12610, BS EN 12611, BS EN 12612, BS EN 12613, BS EN 12614, BS EN 12615, BS EN 12616, BS EN 12617, BS EN 12618, BS EN 12619, BS EN 12620, BS EN 12621, BS EN 12622, BS EN 12623, BS EN 12624, BS EN 12625, BS EN 12626, BS EN 12627, BS EN 12628, BS EN 12629, BS EN 12630, BS EN 12631, BS EN 12632, BS EN 12633, BS EN 12634, BS EN 12635, BS EN 12636, BS EN 12637, BS EN 12638, BS EN 12639, BS EN 12640, BS EN 12641, BS EN 12642, BS EN 12643, BS EN 12644, BS EN 12645, BS EN 12646, BS EN 12647, BS EN 12648, BS EN 12649, BS EN 12650, BS EN 12651, BS EN 12652, BS EN 12653, BS EN 12654, BS EN 12655, BS EN 12656, BS EN 12657, BS EN 12658, BS EN 12659, BS EN 12660, BS EN 12661, BS EN 12662, BS EN 12663, BS EN 12664, BS EN 12665, BS EN 12666, BS EN 12667, BS EN 12668, BS EN 12669, BS EN 12670, BS EN 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REV	DESCRIPTION	DATE
Planning Issue		
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<p>Department For Resources & Regulation Architectural Services</p>		
<p>3 Knowlley Place, Dale Street, Bury, Lancs. BL9 0DB</p>		<p>Tel: 0161 353 6985 Fax: 0161 353 6193 Web: www.bury.gov.uk</p>
<p>PROJECT TITLE: KILLELEA HOUSE CHOICES FOR LIVING WELL BRANDLESOLME ROAD BURY BL8 1JJ</p>		
<p>DRAWING TITLE: REFURBISHMENT OF INTERMEDIATE CARE FACILITY PROPOSED GA PLAN - FIRST FLOOR</p>		
DRAWN BY:	NB	DATE: 06/16
CHECKED BY:	RJV	DATE: 06/16
SCALE:	1:100 @ A1	
<p>DRAWING NUMBER: 15608 A 05P</p>		



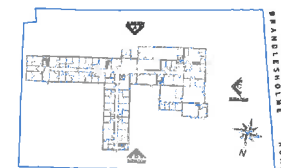
SOUTH ELEVATION A



ELEVATION B



ELEVATION TO BRANDLES HOLME ROAD C



KEY PLAN

GENERAL NOTES

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THE CONTRACTOR IS TO MAKE GOOD ALL WORKS DESTROYED.

THE CONTRACTOR TO COMPLY WITH CDM REGULATIONS AND HEALTH AND SAFETY REQUIREMENTS WHERE APPROPRIATE.

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Department For Resources & Regulation Architectural Services Bury Council		
<small>3 Knowlsey Place, Dale Street, Bury, Lancs BL9 9EJ Tel: 0161 253 6980 Fax: 0161 253 6193 Web: www.bury.gov.uk</small>		
PROJECT TITLE: KILLEEA HOUSE CHOICES FOR LIVING WELL BRANDLES HOLME ROAD BURY BL8 1JJ		
DRAWING TITLE: REFURBISHMENT OF INTERMEDIATE CARE FACILITY PROPOSED ELEVATIONS		
CHECKED BY:	NB	DATE: 06/16
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SCALE:	1:100 @ A1	
DRAWING NUMBER: 15608 A 07P		

ELEVATIONS AS PROPOSED



Ward: Bury East - Redvales

Item 09

Applicant: Thumbs (Up) Bury Ltd

Location: Thumbs Up (Bury) Ltd, Greenfields, Dumers Lane, Bury, BL9 9UT

Proposal: Proposed trailer storage area and open material storage, erection of landscaped perimeter bunding and acoustic/security fencing

Application Ref: 60482/Full

Target Date: 14/11/2016

Recommendation: Approve with Conditions

Description

The application relates to a 1.55 hectare vacant piece of land which is located north of the existing industrial/commercial development at Thumbs Up. The site is an area of open land which is allocated as a River Valley (Policy OL5/2 and Wildlife Link and Corridor (EN6/4) in the Bury Unitary Development Plan. It also falls within Flood Zone 2. The site is currently maintained as a grassed area, adjacent to the existing business operations.

To the north is St Peter's Primary School, to the north east and east are residential properties on Whitefield Road, which are separated from the site by trees and vegetation. To the west is the River Irwell. To the south of the site are buildings and servicing areas associated with the applicant's existing business, separated from the application site by an intervening palisade fence and gate.

A public footpath runs along the far northern boundary from St Peter's School playing fields, behind Nos 702-712 Whitefield Road. There is a gate between the site and Whitefield Road but this is not used to access the site.

Background

The company specialises in the manufacture and distribution of plastic house and garden ware goods for domestic use. Due to expansion of the company, policy changes to the way goods and materials are required to be stored and the bulk buying patterns of their customers, the firm requires an increase to its storage capacity for materials, particularly as additional storage facilities would also enable the company to buy larger quantities of raw materials when prices are lower, which would make good economic sense within a competitive environment.

The Company has also seen an increase in their deliveries to customers, who are opting for the direct delivery of goods from using external logistics. Hence there has been an increase in the numbers of vehicles operated by the company and in turn, space required to store the trailers when not in use.

A previous planning application, reference 59160, for the construction of a trailer storage area, an open material storage area, with associated landscaping and security fencing, was refused at the Planning Control Committee meeting in April 2016. The reason for refusal being:

"The development would create an adverse impact upon residential amenity, in particular Nos 702 - 738 Whitefield Road, through noise arising from the proximity of the proposed industrial use and activities to existing residential properties, which would not be sufficiently mitigated by the proposed bund and the proposed hours of operation. Therefore, the proposed development would conflict with Policy EN7/2 - Noise Pollution of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework".

This application is a resubmission of the refused scheme, and in principle it would essentially comprise the same two elements as the refused scheme, that is to create a trailer storage area and a materials storage area. The applicant has sought to address the reasons for refusal in the previous application by the following means:

- the reduction of the proposed hours of operation,
- extension to the landscaped bund to close the previous gap of the bund in the north eastern corner of the site; and
- the addition of a 2m high acoustic fence to be erected on top of the bund.

Details of the proposals are as follows:

Trailer Storage Area - It is proposed to use the eastern part of site to store the lorry trailers. The applicant states that the area would be used intermittently during the week, and more so just before the weekends when vehicles would return to the site, ready to be reloaded for deliveries the following week. The trailers would be moved on and off the site by a vehicle shunt or driven straight onto the site and the tractor unit unhooked and driven off. The proposed site layout shows that up to 36 trailers could be stored in the area at one time.

The proposed hours of operation are 08:00 to 19:30 Monday to Friday and 09:00 to 13:30 Saturdays, and at no other time.

Materials Storage Area - The western area of the site proposes to store pallets of materials, delivered by trailer and unloaded. The process would generally take between 1-1.5 hours per trailer, with a maximum time of 2 hours. Materials would be delivered on pallets, unloaded by fork lift truck (FLT) and placed directly into the materials store area. The materials would then be transported by forklift truck to the warehouse/manufacturing unit as required.

The applicant proposes delivery of materials to this area from 08:00 to 19:30 Monday to Friday and 09:00 to 13:00 Saturdays and at no other time.

Activity relating to the movement of the materials by the FLT's from the site to the warehouse/manufacturing unit is proposed between 07:00 and 19:30 daily.

Boundary proposals - Similar to the previous scheme, this application proposes a landscaped 'bund' (earth mound) which proposes to form an acoustic and visual barrier between the site and the rear of houses on Whitefield Road. It would be approximately 9m in depth from the rear boundary of the houses on Whitefield Road and 3m high, landscaped and planted with trees and a wildflower and grass seed mix. A 3m high security mesh fence would be erected behind the bund, set in 300m from the rear boundaries of these houses.

The bund and fencing would continue, unbroken (where previously there was proposed a 12m wide gap in the far north eastern corner of the site) along the northern boundary of the site behind the playing fields of St Peter's Primary School.

To the west, the mesh fence only would continue along the boundary with the River Irwell.

Acoustic fence - It is also proposed to erect a 2m high acoustic fence on top of the bund, again, following the boundary of the houses on Whitefield Road and the primary school.

Lighting - It is proposed to erect 5 No. 4m high mounted directional lights along the Irwell Corridor to the west and 1.2m high bollard lighting in the middle of the site and along the edge of the yard to the east.

The area would have a hardstanding concrete surface and incorporate SuDS.

Relevant Planning History

45399 - Topsoil restoration - Refused 25/11/2005

45522 - Change of use of existing warehouse (class B8) to manufacturing (class B2) and associated building works including installation of six 14 metre high silos - Approve with Conditions 21/12/2005

47585 - Extension to existing factory - Approve with Conditions 18/4/2007.

52091 - Non-material amendment raising floor slab level, 2 new doors, new roof lights and smoke vents following grant of 47585 - Approved 19/1/2010.

52211 - Change of use of open land to service yard; Creation of hardstanding and erection of 2.3m high security fence - Approve with Conditions 25/05/2010

53186 - Demolition of existing warehouse and erection of a research and development and recycling building (Class B2) - Approve with Conditions 15/12/2010

56971 - 2 No. non illuminated fascia signs - Approve with Conditions 12/02/2014

57027 - Non material amendment following granting of planning permission 53186 for demolition of existing warehouse and erection of a research and development and recycling building (Class B2):

Minor amendment to building footprint, redesign of roof lights, smoke vents omitted and minor amendments to door positions - Approve 20/12/2013

59160 - Construction of lorry parking area, open material storage area, landscaping and security fencing - Refused 20/04/2016. Now subject to a Public Inquiry Appeal.

59861 - Replacement of section of existing boundary fencing (rear of Wellfield Close) with 3.3 metre high black paladin fencing - Approve with Conditions 17/05/2016

Publicity

99 letters sent on 15/8/2016 to properties on Whitefield Road, Dumers Lane, Cumberland Close, Wellfield Close, Drinkwater Street, Bury Road, New Street, St James Square.

Site notice posted 17/8/2016

Press advert 25/8/2016

Objection letters received from nineteen addresses.

Eighteen letters of objection received from Nos 707, 709, 710, 711, 714, 716, 721, 724, 726, 728, 730, 732, 734, 740, 742, 750 Whitefield Road, 17 The Mount Ringley Hey; email response no address provided.

The following issues were raised:

- Absurd a proposal already massively rejected earlier in the year by the Planning Committee can be re submitted with very few changes. Rejection should mean the end of the matter;
- More noise 7 days a week; the current level is already ridiculous;
- Loss of outdoor lifestyle and being able to enjoy gardens to the full;
- The erection to bunds and fencing, making what is currently an open aspect, a complete eyesore;
- Devaluation of properties - would we be compensated?;
- Threats to wildlife - foxes, deer, hedgehogs, geese and wild bird species, and pipistrelle bats which are protected;
- Additional stress to residents;
- Flood risk to the land bringing possible threats to our properties - the assessment appears to be out of date as there is no mention of the resident's properties flooding over Christmas;
- If it is accepted that flooding would not be a problem, are there assurances we would be compensated in full;
- The school and children will be affected by the constant noise pollution and exposed to this on a daily basis;
- Increase in traffic right next to a primary school with an increase in accidents to children;
- Lighting will be disruptive;
- Apparent that the Council is more clearly interested in profits than people and that our

- quality of life is no more important than an ant;
- Air quality - will be affected by fumes and the report does not monitor sites located on Industrial Sites so cannot be accurately relied on as conclusive evidence; there is a duty at law owed by an employer to protect employees from inhalation of toxic and carcinogenic pollutants - does the company owe that to the wider public
 - The World health organisation warns of the risks and dangers of diesel fumes and classify it as a cause of cancer;
 - The noise report only takes into consideration the current location of the site and not the measurements of the lorry park is approved;
 - Health issues will be further exacerbated by the noise, stress and pollution;
 - Will disrupt sleep and impact on shift workers;
 - This is a residential area and if the company wish to expand, alternative premises should be sought;
 - Hardly any different to the previous scheme;
 - If accepted, it would be an infringement on our human rights, as we would be living in the factory yard of Thumbs Up;
 - The bund would have little impact on the effect of noise on the neighbours;
 - The proposed lighting will render sleep impossible;
 - Negligible differences between this application and the previous which was rejected by 70% of the Committee;
 - The site is completely land locked by housing and a school and in a predominantly residential area;
 - The exception to allow delayed vehicles into the site effectively permits a 24/7 operation;
 - The Company has not uttered a single word of consultation, but cynically now proposes a consultative mechanism with residents;
 - The lorry park would take away the freedom to sit in gardens;
 - Unsightly objects will include more HGV's, more containers, more pollution, floodlights and unsightly mound of soil;
 - Would like to know why Thumbs Up insurer's have requested they store material away from the offices but its acceptable in close proximity to our homes - is the material flammable;
 - Health and sleep is being affected;
 - The source of the material for the bund should be declared in advance - if scraped from the surface of the existing land this would lower the land and increase flood risk;
 - Inadequacies of the ADC Acoustics Report - without a simple noise assessment in terms of the accepted BS4142 it is impossible to demonstrate that the noise impact will be acceptable on neighbours, and the application should be refused.

Neighbours re-notified of amendments to the application - Revised plans received indicating the position of a 2m high fence on top of the mound, amendment to proposed hours of operation, addendum to the Noise Report on 30/9/2016.

Letters of objection received from Nos 707, 709, 716, 718, 726, 728, 732, 740 Whitefield Road, 17 The Mount Ringley Hey:

- A badly thought out application who think nothing about the residents or the environment they have to live in;
- The mound they want to build WILL cause flooding to the gardens and possibly the properties;
- Their intentions are to work around the clock which the residents would not have a respite from;
- The parked trailers would be full of combustible materials where no fire risk assessment has been submitted;
- The parking and movement of trailers will cause a noise nuisance and the lighting will be constant all night causing sleeping issues for anyone in back bedrooms;
- The Council need to continue with their previous stand and refuse this application and take into consideration the needs and feelings of the community who voted them in;
- If I can't work by being kept awake all night I can't pay my council tax, and if ill will become a burden to the NHS;

- The position of the 2m high fence on top of the mound would create a 5m high 'wall' at the bottom of residents garden which would not only block natural light but feel as if we were confined by a prison wall;
- Do not believe the wall would alleviate the noise we are to endure, the trailers must be more than 5m high and constant movement from forklift trucks and trailers will carry over the wall;
- Concerns regarding the storage of materials and fire risk;
- United Utilities seem to have concerns and a number of conditions in their feedback which would seem to validate our issues with this proposal;
- It will affect the quality of life of residents - urge committee to do the right thing - this is residential not an industrial estate;
- Concern a whole field with tarmac cannot be of benefit to an area already known to flood;
- Although revised hours and applicant states the operations would be inaudible even if worked until 11pm, this has already been proved incorrect as neighbours have witnessed and evidenced through noise diaries and video footage that the current operations are during unsociable hours and to excessive noise levels;
- EA report there should be no lighting in the buffer zone - the existing lighting is already intrusive, is similar to a football pitch and the new proposals would only add to that;
- On review of the amended noise report, it is clear the monitoring is based on average noise levels - the document does not refer to the noise levels of the machines joining to the trailers - the proposed bund would have a negligible effect on this much greater noise;
- The application does not state if the flood lights would be extinguished after the operational hours which would disturb resident's sleep;
- The proposal would result in a 16ft high combined bund and acoustic fence which will be a complete eyesore and limit light;
- How will the hours be monitored;
- Would expect the lighting to be extinguished by 19.30 - the end of the shift;
- It is significant that the revised site sections do not show the acoustic fence as to do so would highlight just how intrusive the fence would be resulting in serious loss of amenity - obliterate sun from 2pm onwards;
- Coal Authority confirms *the site falls within a defined Development High Risk Area - however its is for a change of use* - the residents consider the land would be transformed from a wildlife corridor to an intensive industrial activity - significantly more than a change of use';
- Thousands of tons of stored materials, lorry trailers and shunting vehicles would traverse the site and lead to a structural risk over historic mine working;
- Unresolved matter of the location of the sewer which would be structurally compromised by the weight of the materials and trailers;
- Utterly devastated and totally fired up we may now have a 16ft fence on top of the 2m bund - akin to a nazi-style prison. We will not stop fighting this proposal - Thumbs down!;
- High risk flooding area which would increase that risk.

The objectors have been informed of the Planning Control committee meeting.

Consultations

Traffic Section - No objection subject to a condition.

Drainage Section - No objection subject to condition.

Environmental Health Contaminated Land - No comments to make.

Environmental Health - Commercial Section - No objection

Public Rights of Way Officer - Public Footpath No 104 is currently obstructed and not used by the public. The proposed development would not further obstruct the path and there are no objections from a PROW aspect.

Environment Agency - No objection subject to conditions.

United Utilities - No objection subject to conditions.

The Coal Authority - No objection.

Greater Manchester Ecology Unit - No objection subject to conditions.

Environmental Health Pollution Control - Recommend noise mitigation measures and conditions.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
EC1	Employment Land Provision
EC2/1	Employment Generating Areas
EC6	New Business, Industrial and Commercial Development
EN1/2	Townscape and Built Design
EN6/4	Wildlife Links and Corridors
OL5/2	Development in River Valleys
EN7/2	Noise Pollution
EN9	Landscape
EC6/1	New Business, Industrial and Commercial
EN7/1	Atmospheric Pollution
EN5/1	New Development and Flood Risk

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Land use - The land is included as River valley and Wildlife Corridor in the Bury Unitary Development Plan.

River Valleys - UDP Policy OL5/2 - The change of use of land will not be permitted where this will lead to the division of the open parts of the valleys into sections. In addition, where the area does not form part of the Green Belt as in the case of this site, at least one of a number of circumstances must be met including limited infilling, extension to or renewal of existing industry, development associated with outdoor recreation or tourism, limited and essential to public services, or any other development appropriate in a Green Belt.

The proposal would not lead to the division of open part of the valley into sections. Whilst land to the south of the application site is also designated as River Valley, this has previously been developed by Thumbs Up and no longer fulfils any function as an area of River Valley.

It is considered that the proposal will not harm the wider function of the river valley in this area, as much of the land on this eastern bank of the River Irwell already performs relatively poorly in the river valley context and does not connect sufficiently well with the surrounding area. Exception (ii) relating to the extension to or renewal of an existing industry where the economic and employment factors are of overriding importance is sufficient to justify development of the river valley in this case and therefore the proposal is considered not to conflict with UDP Policy OL5/2.

Wildlife Corridor - Policy EN6/4 does not permit development which would adversely affect wildlife links and corridors and the Council seeks to consolidate and strengthen them where appropriate. New development within or adjacent to corridors should contribute to their effectiveness through the design, landscaping and siting of proposals and mitigation works where appropriate.

It is considered that the applicant has taken measures to account for the impact on the wildlife corridor through the provision of landscape/vegetation buffers on three sides of the

site area and principally adjacent to the River Irwell where the movement of wildlife is likely to be mostly concentrated. GMEU are satisfied there would not be a detrimental impact on ecological habitats and wildlife. It is therefore considered that the proposal is not in conflict with UDP Policy EN6/4.

As such, in land use terms, development of the site is considered acceptable in principle. Issues relating to impact on residential and visual amenity, highways and ecology are analysed below.

Residential amenity - For the purposes of the report, the issues of visual impact, noise, hours of operation, air quality and lighting are considered in turn.

Impact on visual amenity - The trailer storage area would be 25m from the rear elevation of the houses on Whitefield Road and 15m from their rear garden boundaries. The nearest property would be No.736 Whitefield Road, 19m from this area.

The material storage area would be 80m from the rear elevation of houses, 66m from the rear garden boundaries and 70m from the rear of No 736. The area would store pallets of materials at a height of 2m. It would also be an area where most activities from the loading and unloading of pallets from trailers and the distribution of materials to the factory would take place.

There is currently an established line of trees and scattered scrub along the rear boundaries of the houses on Whitefield Road. This vegetation already provides some screening of the site, mainly from the ground floor or garden area of these houses.

There is also an existing bund, planted with trees and vegetation, which was put in by the applicant, between the northern elevation of the existing warehouse and Nos 738-754 Whitefield Road, to provide screening and privacy of the site and buildings. This application proposes a similar bund and landscaping solution along the northern and eastern boundaries.

The proposed bund would be 3m high and 9m in depth behind the rear boundaries of the houses on Whitefield Road and that of St Peter's School. The bund would be planted with shrubs, a mix of wild flower and tree planting, which the applicant states would be 3m and 6m high at 5 to 10 years old respectively.

It is also proposed to erect a 3m high paladin mesh fence along the boundaries of the houses on Whitefield Road and retain the existing trees and shrubs along this boundary. However, the erection of the fence may result in some of the vegetation to be removed. To minimise the impact of this, and to ensure that resultant gaps are duly landscaped, conditions have been included in the application.

The applicant also seeks to erect an acoustic fence on top of the bund, the purpose of which would be to add to the noise mitigation measures proposed. In terms of visual impact, the applicant states that the fence would not be visible from the back of the houses on Whitefield Road as it would be located behind the landscaping and consequently hidden by vegetation.

At ground level and from the garden of the houses, it is considered that the retention of the existing landscaping, together with the proposed bund and planting would sufficiently screen the stacked materials, trailers and daily operations on the site from the views of local residents, given the heights involved and distance from the houses. At first floor level, planting which has not yet grown to full maturity may not provide an adequate screen between the storage areas and site operations and these houses. However, the existing trees along the site boundary do provide some visual screening from the outlook from first floors.

GMEU are satisfied with the principle of the proposals. However, to ensure the landscaping

would be of suitable maturity and height, they have recommended a condition be included to submit these details, together with a timetable for planting, implementation and maintenance of the vegetation.

As such, it is considered that there would be a satisfactory screening of the site, storage areas and associated activities, and would not have an adverse impact on outlook from the houses on Whitefield Road or the views from the primary school.

In terms of the proposed acoustic fence, details have not been submitted at application stage but would be sought by condition prior to the commencement of any development. The details of the boundary treatment secured by condition are therefore considered to be acceptable, and comply with UDP Policies OL5/2, EN6/4 and EN1/2.

Noise - Chapter 11 - Conserving and enhancing the natural environment of the NPPF states that planning policies and decisions should aim to:

- avoid noise from giving rise to significant adverse impacts on health and quality of life as a result of new development;
- mitigate and reduce to a minimum other adverse impacts on health and quality of life arising from noise from new development, including through the use of conditions;
- recognise that the development would often create some noise and existing businesses wanting to develop in continuance of their business should not have unreasonable restrictions put on them because of changes in nearby land uses since they were established; and
- identify and protect areas of tranquility which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason.

UDP Policy EN7/2 - Noise Pollution seeks to control the location of development in relation to noise pollution in order to reduce the impact and will not permit development which could lead to an unacceptable noise nuisance to nearby occupiers and/or amenity uses, or permit development close to a permanent source of noise.

The applicant has submitted a Noise Assessment Report and Addendum Report and the Environmental Health Pollution Control Section has been consulted.

British Standard 4142:2014 - Methods for rating and assessing industrial and commercial noise, is the national standard used to assess the likely effects the sound will have on people in or outside residential dwellings. A part of the rating and assessment method is the consideration of the character of the sounds likely to be heard. Section 9 refers to 3 characteristics of any sound which should be considered - these are tonality, impulsivity and intermittency and, depending on whether these features are present at the assessment location, a 'character correction' is to be added to the specific sound level in order to derive a full assessment of the sound(s).

The information provided on noise has been difficult to assess, given there are 3 mobile noise sources operating for different lengths of time and information on the characteristics of the noise was not made clear. The interpretation of British Standard 4142:2014 and conclusions regarding the output and impact of noise from the proposed development is discussed below.

Trailer store - Noise to this area would be generated largely from the trailer's tractor engine or from the shunt engine as they arrive on site, disengage the trailer and leave the site. It is stated by the applicant that the existing shunt does not have a reversing alarm, 40% of the HGV tractor units have no alarms and the remaining 60% have a reversing alarm which could be turned off and a condition could therefore be included on any consent to prohibit the use of vehicle reversing alarms in this area.

The parked trailers would be located approximately 25m from the rear elevations of the houses on Whitefield Road and 15m from their gardens. It is acknowledged that trailers arriving and leaving the site may not be regularly spread out over the week, which would

mean that activity in this part of the application area could be more intense over shorter periods of time.

The application shows that the site could accommodate up to 36 trailers at one time. However, in consideration of the logistics the trailers could not all arrive at the same time and therefore there would be sporadic need to park the trailers, which would reduce the intensity of the activity in this part of the site at any one time. As such, it is considered that there would be no sustained intensive impact from the delivery and storage of the trailer units.

In consideration of the noise issues to this particular part of the site, and in relation to BS4142, the application states that there would be no conventional bleeper reversing alarms, and that no tonal correction would therefore apply. There would however, be noise from the trailers being delivered to the site by the tractor units and shunt engines. The presence of the bund and fence seeks to reduce this noise but is only effective where the line of sight between noise source and receiver is interrupted, and in this instance the bund alone has not been designed to protect the bedroom/first floor windows. However, it would now extend all the way across the north/east boundaries of the site which would effectively close this gap and improve noise output from this part of the site.

In response to the previously refused scheme, this application also proposes to erect a 2m high acoustic fence on top of the bund, which would further reduce noise levels to ground floor and also now to first floor levels by breaking the line of sight. The Acoustic Consultant stated that perceptibility of noise inside the houses would be highly unlikely, and exceptionally unlikely outside.

Planning is about striking a balance between the benefits of a development against impacts which may be caused as a result, and whether those impacts are significantly adverse, and whether mitigation measures or conditions could be reasonably imposed which would enable a development to be acceptable.

In this case, the presence of an acoustic bund and fence, conditions to minimise sound arising from the tractors or shunt and restriction of the hours of operation (see below), are considered to be sufficient to control noise on this part of the site, and not cause a significant adverse impact on the amenity of local residents. This is agreed following consultation with the Pollution Control Officer.

The proposed conditions are considered to pass the legal tests, would be enforceable and would enable the development to be considered as acceptable.

Materials store - The majority of deliveries would take place between Mondays and Fridays, but there will be occasional use at the weekend.

The delivery of the materials would involve a single HGV driving onto the south western area of the site, where a FLT would unload pallets and stack them in the store area. The trailers would then move off the site, the process taking approximately 1.5 hours. Activity in this part of the site would be more intense and for longer hours than the lorry store area, with materials proposed to be delivered between 08:00 to 19:30 Monday to Friday and 09:00 to 13:00 Saturdays.

Activity relating to the movement of the materials by the FLT's from the site to the warehouse/manufacturing unit is proposed between 07:00 and 19:30 daily. In terms of the FLT noise, the Noise Assessment Report states that the modelled levels of noise would be below existing background noise levels and so would be unlikely to be noticeable at all. The report notes that the applicant is proposing to use FLT's different to the one's measured in June 2016 which would be fractionally quieter operationally, fitted with noise minimising measures. The conclusion drawn is that the FLT's would not likely be audible at the houses behind the bund, and particularly with the addition of the acoustic fence, and the Pollution Control Officer, having heard the sound emanated from the FLT's, is satisfied with

this conclusion.

To cover all eventualities should the scheme be approved, a condition should be imposed that noise from the FLT shall not exceed those as measured and used for the modelling purposes contained in the Noise Consultants Report would be included. This condition is challenged by the Consultant, that the FLT's would not be the main source of noise and it would serve no purpose to imposing such noise limits. The Council considers that it would be reasonable and necessary to require this condition to be included, to ensure the appropriate FLT's proposed in the application that would be used for the activities on site and in noise terms would be no worse than those assessed, to safeguard residential amenity. Hours of operation would also be conditioned as stated above.

Conclusions of the Acoustic Noise Consultant

The Consultant concludes there is no case to apply any BS4142 character corrections to the assessment of the sounds and that sounds from activities on site should therefore have a low impact on residents.

The Pollution Control Officer notes this analysis of the Acoustic Consultant, that impulses should be imperceptible and that intermittency extremely unlikely to be readily distinctive, and that no tonal alarms would be used. When taking into account the Consultant's measurements and interpretation of the character of noise from the site, the Pollution Control Officer considers that from the information provided by the Acoustic Consultant, there would be no need to consider character corrections in accordance with BS4142.

It is also acknowledged that the applicant has sought to address areas of concern regarding noise by proposing reduced hours, an acoustic fence and extension to the bund.

As such, and with the mitigation measures and conditions which are proposed and which are enforceable, it is considered that any noise which would be created as a result of activities on the site would not be significantly adverse to local residents and would not warrant refusal of the application.

Hours of operation - The applicant proposes to reduce the hours of operation on the site to those which were originally submitted with the application and from the previous scheme. Local residents were re-notified of the revisions on 30/9/2016. The proposed hours have been assessed in the context of the activities and operations noise which would be carried out on site and associated potential noise and disturbance as a result of the proposed development (discussed in the section above).

In terms of the material storage area, the Pollution Control Section has assessed the proposals and is satisfied that noise from the movements of the FLT's would not be significantly adverse and therefore it would be reasonable to accept the hours of operation between 07:00 and 19:30 daily and deliveries to this area between the hours of 08:00 and 19:30 Monday to Friday and 09:00 and 13:00 Saturdays.

In the trailer storage area, noise is more likely to be audible to the houses on Whitefield Road from the HGV tractor units and shunt engine when they are being brought on and taken off site. The hours proposed by the applicant of 08:00 to 19:30 Monday to Friday and 09:00 to 13:00 Saturdays are therefore considered to be reasonable.

Air quality - An air quality assessment was requested and supplied by the applicant for the previous application ref 59245 and this report has been re submitted for the purposes of this application. The report addresses the potential risks from air pollutants associated with the operational phase of the proposed development, and considers the impact that vehicles and traffic might have on existing air quality, travelling to, from and within the development site itself. The report concludes that the increase in vehicle movements would not be significant enough to impact local air quality at the properties on Whitefield Road or within the AQMA at Dumers lane. Therefore no further air quality information is required.

Lighting - The application proposes 1.2m high bollard lighting on the eastern edge of the trailer store area, set behind the 3m high bund and a strip of bollard lighting along the centre of the site. Their position within the site, type, and height of this particular lighting is such that there would not be any light pollution that would affect the gardens of the houses on Whitefield Road.

In terms of the lighting along the western boundary, this is proposed as 4m high mounted directional lights facing towards the storage areas. The lights would be 98m from the rear gardens and 110m from the rear elevations of the houses and directed downwards. The houses on Whitefield Road would be a significant distance away and given the direction of the lighting they would not be affected by light spillage or pollution. For clarification of this, a condition would be included requiring details to be submitted prior to commencement of development.

Highways issues - Access to the site would be from Dumers lane through the existing yard and servicing area. The site is approximately 1.5m higher than the existing servicing area, and a concrete ramp would be incorporated to facilitate access to the site through 2.4m high palisade gates.

There are a set of gates between Whitefield Road and the site. There is currently no usable access to the site from Whitefield Road and it is not proposed as part of the application. This access would be redundant in any case, as it is proposed to form a continuous bund along the north and east boundaries, which would restrict any kind of vehicular access to the site from Whitefield Road. This is reinforced by the provision of Condition 9.

The public footpath which runs along the top of the site would not be affected by the proposals.

There would be no alterations to the existing access arrangements and the Highways Team have raised no objection to the proposals. As such, the development would comply with UDP Policy EN1/2 - Townscape and Built Design and EC6/1 - Assessing New Business, Industrial and Commercial Development.

Ecology - A Phase I Habitat Survey and Protected Species Survey has been submitted with the application and GMEU have been consulted. GMEU are satisfied that the revised scheme would have no additional impacts on ecology or the river, and their previous recommended conditions and informative's would be relevant and applicable, summarised below.

Bats - There is no potential for bat roosts on the site, but the probable importance for commuting and foraging along the Irwell Corridor is acknowledged. Vegetation along the Irwell is to be retained and habitat linkage created along the northern boundary of the site.

The site will however, need to be illuminated and 5 no. lighting columns, 4m high are proposed along the Irwell boundary. There would also be low level lighting from 1.2m high bollards within the site. The developer has committed to ensuring that this lighting would not have a negative impact on bats, and the use of high pressure sodium lamps, one of the more preferable options where bats foraging may be an issue, is acknowledged. The retention of the riverside vegetation would also provide a barrier to lighting of the river.

Final details demonstrating that light spillage would be minimised is recommended as a condition.

Other Protected Species - No evidence of any other protected species was found on site. the only other species with any level of risk is otter which has been recorded on the Irwell, downstream of the development. The riparian habitats are being retained and surveys have found no evidence that otter utilise this section of riverbank, and GMEU are satisfied the risk is low. An informative is therefore recommended.

Invasive species - Japanese knotweed and giant hogweed were recorded on the sites and Hamalyan balsam along the River Irwell just off the site. It was accepted that the developer was not responsible for invasive species along the river which lies outside their ownership. However, a condition is recommended requiring the submission of a method statement for the treatment of invasive species.

Nesting birds - An area of habitat with bird nesting potential would be removed from the eastern boundary of the site. A detailed bird nest survey would be required for submission if any clearance works are to be carried out in the bird nesting season.

Animal welfare - Potential rabbits and fox holes were identified. An informative is recommended advising the applicant of their responsibility under the Wild Mammal (Protection) Act 1996.

Ecological mitigation - Adequate land would be set aside to enable ecological mitigation around the perimeter of the site. GMEU are satisfied with the general provisions of the quantity and location of the proposed planting and use of wildflower mix and recommend that a condition to submit details of the proposed landscaping to an approved timetable is included.

Water Framework Directive - The EU Water Framework Directive (WFD) requires environmental objectives be set for all surface and ground waters to enable them to achieve good status or potential for heavily modified water bodies by a defined date. One objective is to prevent further deterioration which can include changes to flow pattern, width and depth of channel, sediment availability/transport and ecology and biology. The proposed development is adjacent to the river Irwell and would potentially reduce porosity of the adjacent land, and increase sediment and pollution run-off in to the River. The commitment to utilise a SUDS system and the retention of the existing vegetation between the development and the river would significantly buffer the river during and after the development.

To ensure protection of the River Irwell and the aquifers, mitigation measures are recommended and GMEU are satisfied these can be conditioned. It is therefore concluded that the proposed works would be compliant with the requirements of the WFD, and could be implemented without adversely impacting the water environment.

Flood Risk - A Flood Risk assessment report has been submitted with the application. This has been updated from the previous submission and was revised in June 2016. The site is located within Flood Zone 2.

The Environment Agency (EA) have been consulted and initially raised an objection due to the position of the security fencing along the bank top of the River Irwell which would impede access for future maintenance and/or improvement works by the EA.

The EA have subsequently removed their objection following the submission of a revised plan which shows that the fencing would be set back from the bank top to allow for an 8m easement and access by the EA.

The EA have therefore no objection subject to conditions to secure opportunities and enhancement of the natural conservation value of the site, including the area along the bank of the River Irwell, and control methods of invasive species.

Response to objectors -

- The Environmental Health Pollution Control Section have received complaints and noise diaries from residents, logging times/dates of disruptions. These complaints relate to the existing activities at the site and not to the proposed development. However, as the scheme is to move an industrial activity to a location where residential amenity could be affected, a significant amount of study and consideration has taken place to enable the

recommendations to be made.

- Impact on house prices is not a material planning consideration.
- The objections relating to wildlife, air pollution and air quality, access, loss of privacy, visual impact, light pollution, noise pollution, drainage have been covered in the above report.

Conclusion

Planning seeks to strike a balance between the benefits of a development against any impacts which may be caused as a result, and weigh up whether those impacts are significantly adverse, and whether mitigation measures or conditions would deem a development acceptable.

In this case, it is considered that the continuous bund along the boundaries of the residential properties and the school, the addition of the acoustic fence, conditions to minimise sound arising from the tractors or shunt, and the restriction of the hours of operation (see below), would be sufficient to control noise on this part of the site, and not cause a significant adverse impact on the amenity of local residents. The provision of the bund and proposed landscaping, together with the retention of the existing boundary treatment would also provide a satisfactory level of screening of the site from the nearby properties.

The proposal would not lead to the division of open parts of the River Valley into sections and ecological mitigation measures would result in a net gain of bird nesting habitat.

The conditions are considered to pass the legal tests and would warrant the development as acceptable.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings Location plan 51/2015/0768 01 B; Site plan as proposed 51/2015/0768 02 J; Site sections as proposed 51/2015/0768 03 D; Acoustic Report by ADC Acoustics ARR/PPN/C/2599.02 rev D 17th June 2016 and Addendum ARR/PPN/C/2599.02/addendum Rev B 23rd September 2016; Flood risk Assessment Sa Sanderson 8717/TW/001/02 Revised Jun 2016; Water Directive Framework Assessment Final Report v1.2 December 2015; Extended Phase 1 habitat Survey Pennine ecological June 2015; Air Quality assessment January 2016 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until a 'lighting design strategy' for

the development has been submitted to and approved by the Local Planning Authority. The strategy shall:

- include details of the type of lighting, together with its illumination and lighting splays;
- show how and where external lighting will be installed (through appropriate lighting contour plans) so that it can be demonstrated clearly that any impacts on the River Irwell with regards to bats are negligible;
- Specify frequency and duration of use.

The proposed 4m high lighting columns on the western boundary of the site hereby approved shall be so positioned and designed such that the filaments of any bulbs are not directly visible from dwellings on Whitefield Road, including gardens. All external lighting shall be installed in accordance with agreed specifications and locations set out in the agreed strategy, and thereafter maintained.

Reason. Insufficient information has been submitted at application stage. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN1/2 - Townscape and Built Design and EN7 - Pollution Control, EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

4. No works to trees or shrubs shall be carried out between 1st March and 31st August inclusive in any year unless a detailed bird nest survey by a suitable experienced ecologist, has been carried out immediately prior to clearance and written confirmation provided that no active bird nests are present, which has been agreed in writing by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. No development shall commence unless and until a scheme for the provision and management of the existing riparian woodland alongside the River Irwell wildlife corridor shall also be submitted to and approved in writing by the Local Planning Authority. The buffer zone scheme shall be free from built development including lighting, domestic gardens and formal landscaping, and could form a vital part of green infrastructure provision. The scheme shall include:
 - detailed plans showing the extent and layout of the buffer zone in respect to bank top of River Irwell.
 - details demonstrating how the buffer zone will be protected during development and managed/maintained over the longer term including adequate financial provision and named body responsible for management plus production of detailed management plan
 - details of any proposed fencing including measures to allow mammalian wildlife movement, sensitive lighting and their proximity to retained riparian buffer.

The development shall be carried out in accordance with the approved scheme to the approved timetable.

Reason. Insufficient information has been submitted at application stage. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design, OL5/2 - Development in River Valleys and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 11 - Conserving and enhancing the natural environment.

6. No development shall commence unless and until a landscape management plan and maintenance strategy including schedules for maintenance of the proposed bund has been submitted to, and approved in writing by, the Local Planning

Authority. The scheme shall include:

- detail extent and type of new planting including planting schedule largely based on native species.
- details of maintenance regimes of grassland and woodland habitats.

It shall be implemented within the first planting season, and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. Insufficient information has been submitted at application stage. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies EN1/2 - Townscape and Built Design, OL5/2 - Development in River Valleys and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 11 - Conserving and enhancing the natural environment.

7. The development hereby approved shall be carried out in accordance with the mitigation measures detailed in Section 7 of the Flood Risk Assessment by Sanderson Ltd ref 8717/TW/001/01 dated August 2015, updated June 2016 and the mitigation measures of Section 7 of the Water Framework Directive Assessment Final report v1.2 December 2015

Reason. To ensure and promote sustainable development pursuant to chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

8. No development shall commence until a detailed method statement for removing or the long-term management / control of Giant hogweed, Japanese knotweed on the site shall be submitted to and approved in writing by the Local Planning Authority. The method statement shall include proposed measures that will be used to prevent the spread of Giant hogweed, Japanese knotweed during any operations e.g. mowing, strimming or soil movement. It shall also contain measures to ensure that any soils brought to the site are free of the seeds / root / stem of any invasive plant covered under the Wildlife and Countryside Act 1981, as amended. Development shall proceed in accordance with the approved method statement.

Reason. The scheme does not provide full details of the actual extent of Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

9. The bund and fencing shall be implemented as approved and the land for trailer storage and materials storage shall not be so used until the noise bund and fencing are in place.

The bund and fence shall thereafter be maintained as approved.

Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution and EC6/1 - Assessing New Business, Industrial and Commercial Development of the Bury Unitary Development Plan and the NPPF.

10. No development shall commence unless and until details of the acoustic fence hereby approve, including the design, material, siting and fixing mechanism has been submitted to and approved in writing by the Local Planning Authority. The approved acoustic fence only, together with the approved fixing mechanism shall be implemented and thereafter maintained in the approved position. The submitted details shall also include openable fence panels for access purposes.

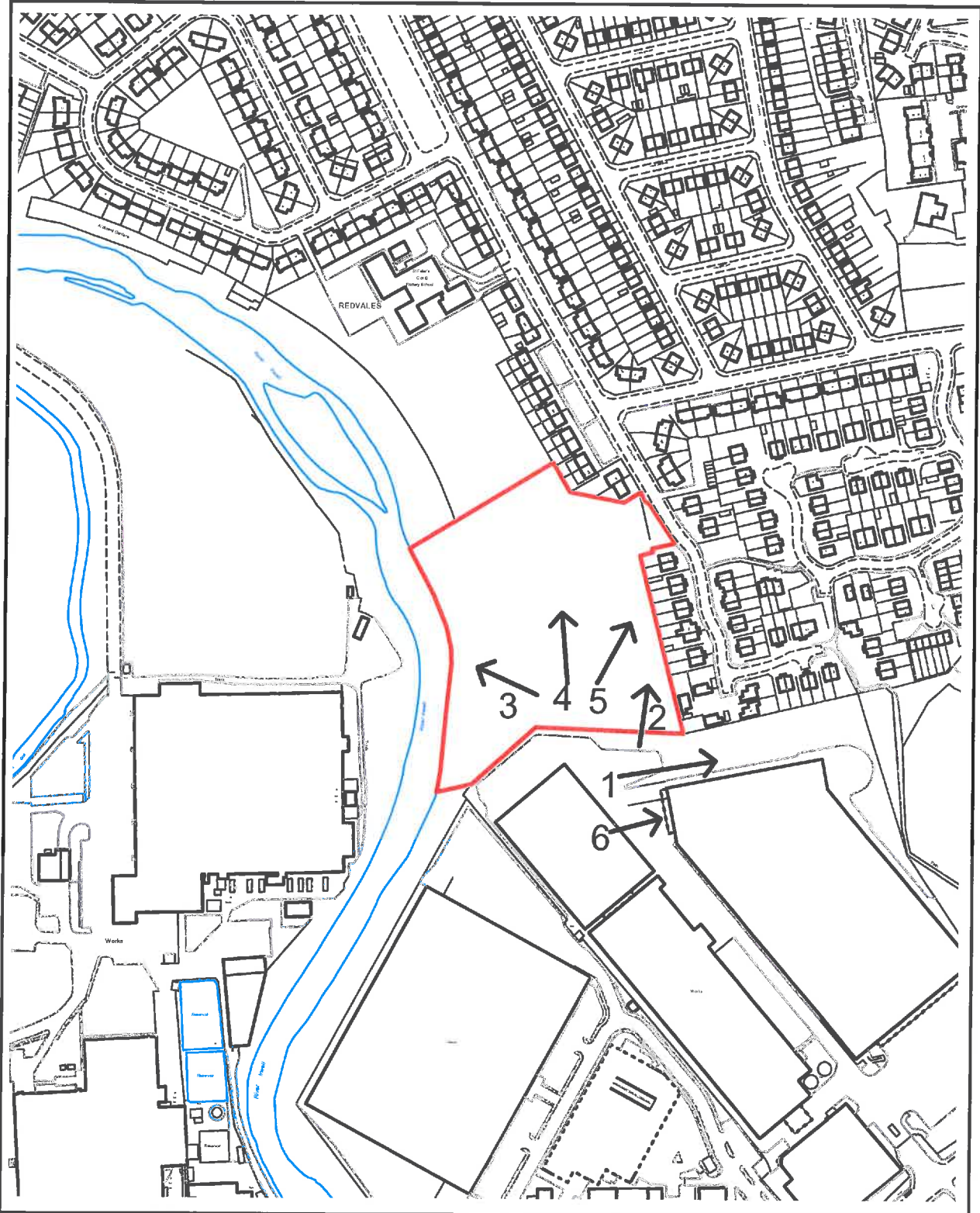
Reason. Insufficient information has been submitted at application stage. In the interests of visual amenity and to mitigate noise impact from the development pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design, EC6/1 - Assessing New Business, Industrial and Commercial Development and EN7/2 - Noise Pollution.

11. No development shall commence unless and until details of surface water drainage proposals have been submitted to and approved by the Local Planning Authority. The proposed scheme must be based on principles outlined in the Flood Risk Assessment to ensure that the risk of both river and surface water flooding is mitigated, and the hierarchy of drainage options in the National Planning Practice Guidance. It must be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements for any SuDS features should also be provided.
Bearing in mind the impact of previous flooding in the area, exceedance calculations should be provided to a minimum of 1:100 years + 100%, together with a plan showing flow paths and flood extents.
Reason. To promote sustainable development and reduce flood risk. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. The applicant must demonstrate that the development will not increase flood risk for residents of adjacent properties and pursuant to Unitary Development Plan Policy EN5/1 - New Development and Flood Risk and chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
12. Any soil or soil forming materials brought to site for use in the bund or landscaping areas, filling and level raising shall be tested for contamination and suitability for use on site. Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to and approved in writing by the Local Planning Authority prior to any soil or soil forming materials being brought onto site, and;
The approved contamination testing shall then be carried out and validatory evidence (soil descriptions, laboratory certificates, photographs etc) submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
13. No deliveries shall be permitted to the site outside the hours of 08:00 to 19:30 Monday to Friday and 09:00 to 13:00 Saturdays, and at no other time.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution and EC6/1 - Assessing New Business, Industrial and Commercial Development of the Bury Unitary Development Plan and the NPPF.
14. No activity or site operations shall be permitted in the materials storage area as shown on approved site plan 51/2015/0768 02 Rev J outside the hours of 07:00 to 19:30 daily.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution and EC6/1 - Assessing New Business, Industrial and Commercial Development of the Bury Unitary Development Plan and the NPPF.
15. No activity or site operations, including the delivery and storage of trailer vehicles, shall be permitted in the trailer storage area as shown on approved site plan 51/2015/0768 02 Rev J, outside the hours of 08:00 to 19:30 Monday to Friday and 09:00 to 13:00 Saturdays, and at no other time.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EN1/2 - Townscape and Built Design, EN7/2 -

Noise Pollution and EC6/1 - Assessing New Business, Industrial and Commercial Development of the Bury Unitary Development Plan and the NPPF.

16. Noise emitted from the fork lift trucks to be used on the site hereby approved shall not exceed those noise levels as measured and used for the noise modelling purposes contained in the Noise Consultants Addendum Report dated 17th June 2016 (ref:ARR/PPN/C/2599.02 page 23). The fork lift truck reversing alarms to be used on the site shall be white noise/non-tonal broad band reversing alarms with adjustable volume control.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution and EC6/1 - Assessing New Business, Industrial and Commercial Development of the Bury Unitary Development Plan and the NPPF.
17. Noise emitted from any shunt vehicle to be used on the site hereby approved for manoeuvring trailer units shall not exceed those noise levels as measured and used for the noise modelling purposes contained in the Noise Consultants Report dated 17th June 2016 (ref:ARR/PPN/C/2599.02). The use of reversing alarms on vehicles to be used for trailer movements in this area shall be prohibited.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution and EC6/1 - Assessing New Business, Industrial and Commercial Development of the Bury Unitary Development Plan and the NPPF.
18. Materials and pallets shall not be stacked at a height exceeding 2m.
Reason. In the interests of visual and residential amenity and to protect the special character of the River Valley and Wildlife Links and Corridor and local residents, pursuant to Bury Unitary Development Plan Policies OL5/2 - Development in River Valleys, EN6/4 - Wildlife Links and Corridor and EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan.
19. No development shall commence unless and until a scheme has been submitted that shows the position of the security fencing in relation to the existing landscaping which runs along the boundary with Nos 702-738 Whitefield Road. No works to remove the landscaping shall take place unless and until such scheme has been subsequently approved and the development shall be carried out in accordance with the approved details.
Reason. To avoid the loss of trees and shrubs which are of residential and visual amenity value to the area, pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
20. The area indicated for trailer storage on the approved site plan ref 51/2015/0768 02 Rev J shall be used for the storage of trailers only, and for no other purpose or activity.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies EN1/2 - Townscape and Built Design, EN7/2 - Noise Pollution and EC6/1 - Assessing New Business, Industrial and Commercial Development of the Bury Unitary Development Plan and the NPPF.
21. Details of the materials and finished surfacing of the hardstanding area hereby approved shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. The approved details only shall be implemented and thereafter maintained.
Reason. To secure the satisfactory development of the site and in the interests of visual and residential amenity pursuant to Policies EC6 - New Business, Industrial and Commercial Development and EN1/2 - Townscape and Built Design of the Bury Unitary Development Plan.

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60482

ADDRESS: Greenfields, Dumers Lane
Radcliffe

Planning, Environmental and Regulatory Services

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Bury
COUNCIL

60482

Photo 1



Photo 2



60482

Photo 3



Photo 4



60482

Photo 5



Photo 6



Ward: Radcliffe - West

Item 10

Applicant: Mr John Lysack

Location: Harper Fold Farm, Lavender Street, Radcliffe, Manchester, M26 3TJ

Proposal: Proposed barn conversion to form 2 no. new dwellings

Application Ref: 60508/Full

Target Date: 25/10/2016

Recommendation: Approve with Conditions

Description

The application relates to a two storey brick built barn to the west of the main house at Harper Fold Farm. The farm was originally dairy based and also used for the wintering of sheep. The farm itself is now used as an equestrian centre with ten acres of grazing land.

The site is located in the Green Belt/River Valley and surrounded by fields on three sides. To the south is part of Bury & Bolton SBI, covering Dingle Reservoir. The site is accessed from the north by an unmade, unadopted road which is also a Public Right of Way. On the eastern side of the access road is a large housing estate.

Apart from the barn and the main house, there are 3 blocks of single storey stables, a midden and turning parking areas used in conjunction with the stables use. There is also a large portal framed building that is now redundant, attached to the barn which is to be removed as part of the redevelopment scheme.

The application follows a previous scheme for the conversion of the barn to a single dwellinghouse, approved under delegated powers in 2011. This approval however expired in 2014.

This current application proposes to convert the barn into two dwellings, a 2 bed and a 3 bed property. Each property would have two parking spaces within the courtyard at the front. The proposed garden areas for each unit would be to the rear/south and extend out approximately 8m enclosed by a 1.2m high post and wire fence and hedging.

The dwellings would be accessed by the single lane track from Lavender Street which serves the main house and stables

The application is supported by a structural survey and involves the refurbishment of the roof, the retention of the main walls of the barn and the insertion of a limited number of new openings to form doors and windows.

Relevant Planning History

01851/E - Pre-application enquiry for block of timber stables & store - Enquiry completed 19/07/2016

54565 - Barn Conversion to form a dwellinghouse - Approved 21/12/11.

54566 - Proposed indoor riding school/menage - Approved 21/12/11

60509 - Proposed indoor riding school/menage - Current application.

Publicity

The following properties were notified by letter dated 31/08/2016 -

Nos 103-117(odd) Harper Fold Road, 2-12(even) and 9-17(odd) Wood Hey, 1, 3, 4, 5, 6 and 7 Great Stone Close, Black Moss Farm, Black Moss Court, 3, 5, 6, 7, 8, 9 and 10 Black Moss Close, 13-35(odd) Calf Hey Close, 421-423, 431-435 Bolton Road.

Site notice posted 22/9/2016.
Press notice in Bury Times 8/09/2016.

One representation received and summarised (email only, no address supplied)

- Additional traffic would cause congestion along single track lane and the junction with Bolton Road.
- Close to footpaths come out into the track from the Cams Lane estate, and also borders a play area for children and would put children in danger.

The objector has been notified of the Planning Control Committee

Consultations

Traffic Section - No objection.

Drainage Section - No objection subject to condition.

Environmental Health - No objection subject to conditions.

Public Rights of Way Officer - No objection

Greater Manchester Police - No objection.

Greater Manchester Ecology Unit - No objection subject to conditions.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN6/3	Features of Ecological Value
OL1	Green Belt
OL1/4	Conversion and Re-use of Buildings in the Green Belt
OL5/2	Development in River Valleys
HT2/4	Car Parking and New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD 9	Conversion and Re-use of Buildings in the Green Belt
SPD11	Parking Standards in Bury
SPD15	Residential Conversions
EN7/2	Noise Pollution
EN5/1	New Development and Flood Risk

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle (Green Belt) - The application is for the re-use of an existing building in the Green Belt and as such needs to be assessed against NPPF and UDP Policies, the main ones being set out below.

Paragraph 90 of the NPPF states that certain forms of development are not inappropriate in the Green Belt provided they preserve the openness and do not conflict with the purposes of including land in the Green Belt. These are:

- mineral extraction;
- engineering operations;
- local transport infrastructure;

- the re-use of buildings provided that the buildings are of permanent and substantial construction; and
- development brought under a Community Right to Build Order.

UDP Policy OL1/4 states that the conversion and re-use of buildings within the Green Belt will be permitted providing that the proposal would not have a materially greater impact than the present use upon the openness of the Green Belt; the buildings are capable of conversion without major or complete reconstruction; the form, bulk and general design are in keeping with the surroundings and suitable access and the likely traffic can be accommodated without creating a hazard or the need for major road improvements.

SPD9 - Conversion of Buildings in the Green Belt advises further on acceptability of schemes in terms of impact on character and appearance of the retained building, impact on openness of the Green Belt and capability of the conversion itself.

Paragraph 90 of the NPPF finds the reuse of buildings to be appropriate provided they are of substantial construction and that they preserve the openness of the Green Belt. The proposal to convert the barn would be appropriate as the structural report confirms that the building would be capable of conversion. The main walls are sound and whilst the roof would need to be repaired, this can be done using traditional materials.

The application involves the demolition of a portal framed building which is attached to the rear of the barn. An area equating to the footprint of this building would be used as the domestic gardens for both properties. This, together with the refurbishment of the barn, which would not involve any extensions or increase in volume of the building, would have no greater impact on the openness of the Green Belt than the existing buildings and as such is considered to be appropriate.

The works to the external elevations would keep door and window openings to a minimum. The post and rail/wire fencing with boundary hedging around the domestic gardens would help retain the rural character of the development.

As such it is considered that the principle of the development would be acceptable and would comply with OL1/4, SPD9 and Paragraph 90 of the NPPF.

Principle (Housing) - Following revocation of the North West Regional Strategy on 20th May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable land.

UDP Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Layout - The proposed layout of the development would not significantly alter the existing arrangements on the site already. The 'portal frame building' attached to the barn would be demolished, the remaining hard standing would be 'grubbed up', and this area then used as part of the garden for property No 2 approximately 8m in depth. This approach would have a beneficial and positive impact on the openness of the Green Belt. The garden area for plot 1 would be the same length and both would be bounded by a 1.2m high post and wire fence softened and screened for privacy purposes by hedging.

Bin stores would be located within the rear curtilage of the houses screened by the boundary treatment.

There would be no requirement for any additional hardstanding area for parking as this would be in front of the property on the existing cobbled courtyard in front of the barn.

As such, it is considered the proposed layout would not have a detrimental impact on the openness or special character of the Green Belt and would bring forward a residential development which would be sensitive and sympathetic to the surrounding area, and as such would comply with OL1/4, SPD8, SPD9 and the NPPF.

Design and appearance - The scheme has been designed to retain the original features and character of the existing barn. Elevations and fenestration patterns would reflect those of a farmstead habitat with materials re-used or new materials which would be in keeping with the existing building.

The building itself has a large opening on the east elevation which would be glazed and reproduced on the west elevation to imitate the character of barn doors. The patio window on the west elevation, whilst more domestic in nature, would face towards the garden screened from public views by hedging. A number of new window openings would be inserted but these would be kept to a minimum, randomly positioned and window frames finished in a timber material. The fenestration pattern created would be modest and reflect the original character of the barn.

The roof would be refurbished with the existing slates or reclaimed slate and would follow the simple lines of the existing roof and would have no chimneys and one conservation roof light inserted.

It is considered that the proposals would acknowledge and retain the existing character of the barn and would require minimal works to convert the building to dwellings. The scheme would be appropriate within the character of the surrounding area and buildings and respond positively to the character of the Green Belt. As such the design and appearance is considered to be acceptable and would comply with UDP Policies OL1/4, and SPD9.

It is recommended that a condition (condition 11) be imposed restricting the rights to allow additional openings and extensions in the properties in order to ensure the building would retain its agricultural heritage and to protect the openness and character of the Green Belt.

Residential amenity - In terms of future occupiers of the dwellings, the noise and disturbance associated with the equestrian use of the site, although limited, would be evident to any potential occupiers of the new dwellings and as such the impact on the amenity of the residents is something that they can assess prior to occupation. Given the site is an established equestrian centre that operates during normal daytime hours and noise insulation measures that could be put in place, this element would not warrant refusing the application on the grounds of residential amenity. In terms of residential amenity the proposal is acceptable and complies with UDP Policy EN7/2 Noise Pollution.

As there would be no extensions to the building, or insertion of windows on the frontage which would affect or overlook the adjacent farmhouse, it is considered the relationship to this property would be acceptable.

The development would therefore accord with UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The layout of New Residential Development.

Access and parking - The addition of two dwellings within the farmstead would not generate significant levels of traffic to and from the site. In comparison to the use of the building as a barn, where tractors and other heavy farm vehicles could continuously be servicing the building and generating trips up and down the lane, it is considered 2 dwellings would likely result in a reduction in traffic overall.

It is proposed to provide 2 parking spaces in front of the properties. There is also adequate provision for visitor parking within the courtyard area and in and around the site itself.

The Highway Team have raised no objection to the proposals and as such considered to comply with H2/2 - The Layout of New Residential Development.

Ecology - A Bat Survey and Ecological Appraisal have been submitted with the application, and GMEU have been consulted.

Great Crested Newts - An updated great crested newt survey and reasonable avoidance method statement has been provided by an experienced amphibian and pond ecologist. This has confirmed that great crested newts are still present in a number of ponds within 250m of the development but none closer than around 130m. The nature of the development is such that the risk of an offence is low enough that reasonable avoidance measures can be conditioned. These have been provided in the Ecological Assessment.

Bats - The bat report found evidence of bats in one of the buildings and recommended emergence surveys be carried out. A further survey was carried out late in the season, September 2016, which was not conclusive. The applicant's Ecological Consultant considers that given the presence of bat droppings, occasional transitory roost are likely. The barn has been visited on a number of occasions and evidence of a roost not been found. The lack of concentrated areas of droppings makes it unlikely that there are any large roosts or more permanent seasonal roosts. From a planning perspective, GMEU is confident that any planning permission granted would be valid under the habitats Directive and that negative impacts on the Conservation status of the bats could be avoided. A precautionary condition is therefore recommended that a license issued by Natural England authorising development or a report from a suitably experienced ecologist verifying a license would not be required, be submitted prior to commencement of development.

Nesting birds - Potential nesting bird habitat would be disturbed as a result of the development, including vegetation and the buildings. All British bird nests and eggs (with certain limited exception) are protected by Section 1 of the Wildlife and Countryside Act 1981, as amended. A condition is recommended to street clearance of vegetation outside the bird breeding season, unless a survey is carried out.

Himalayan balsam - This species, listed under schedule 9 part 2 of the Wildlife and Countryside Act 1981 (as amended) was identified in the vicinity of the Barns. It is an offence to introduce or cause to grow wild any plant listed under this schedule. Outline management proposals have been included. A condition is recommended that a detailed method statement be submitted for the eradication or control of the invasive species.

Ecological Enhancement measures - The NPPF states that the planning system should contribute to and enhance the natural Environment. The barn conversion would only have minimal impacts on semi-natural habitats, losses restricted to small areas of potential bird nesting habitat and tall ruderal vegetation. There is adequate scope within the development and surrounding area for mitigation or compensation. The consultant ecologist has provided suggestions for mitigation pertaining to both this development and the adjacent menage. A condition is recommended for the submission of a landscaping

scheme.

It is considered that with appropriate conditions, the proposal would be acceptable and complies with the NPPF and UDP Policies relating to ecology.

Objection. The issues raised by the objector have been addressed in the above report.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to revised drawings numbered 15/388/03/A, 04, 05/A and Ecological Report from Dave Bentley Ecological Services dated June 2016 and Daylight Bat and Nesting Bird Survey dated 24/05/2016 from Martin Prescott Environmental Services and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Reasonable Avoidance Measures shall be carried out for great crested newts in accordance with the details contained in the details contained in the Ecological Issues Report for Harper Fold by David Bentley Ecological Services version 1.2 Sections 6.3 to 6.11 as already submitted and approved by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. No works to trees or shrubs shall occur or building works commence between 1st March and 31st August inclusive in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no active birds nests are present, and approved in writing by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. Prior to any earthworks a detailed method statement for the eradication and/or control and/or avoidance measures for himalayan balsam shall be supplied to and approved in writing to the Local Planning Authority. The agreed method statement shall be adhered to and implemented in full. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.

Reason. The scheme does not provide full details of the actual extent of Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. A landscaping scheme shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. the content of the plan shall include elements that provide habitat for nesting habitat and amphibians. The approved plan shall be implemented in accordance with the approved details. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

9. No development shall commence unless and until :

- a license issued by Natural England pursuant to Regulation 53 of the Conservation of habitats and Species Regulations 2010 authorising the specified activity/development go ahead:or
- a written report from a suitably experienced ecologist to the effect that it does not consider that the specified development will require a license, has been submitted to and approved in writing by the Local Planning Authority. Should a license be required, any recommendations/conditions of the license shall be adhered to.

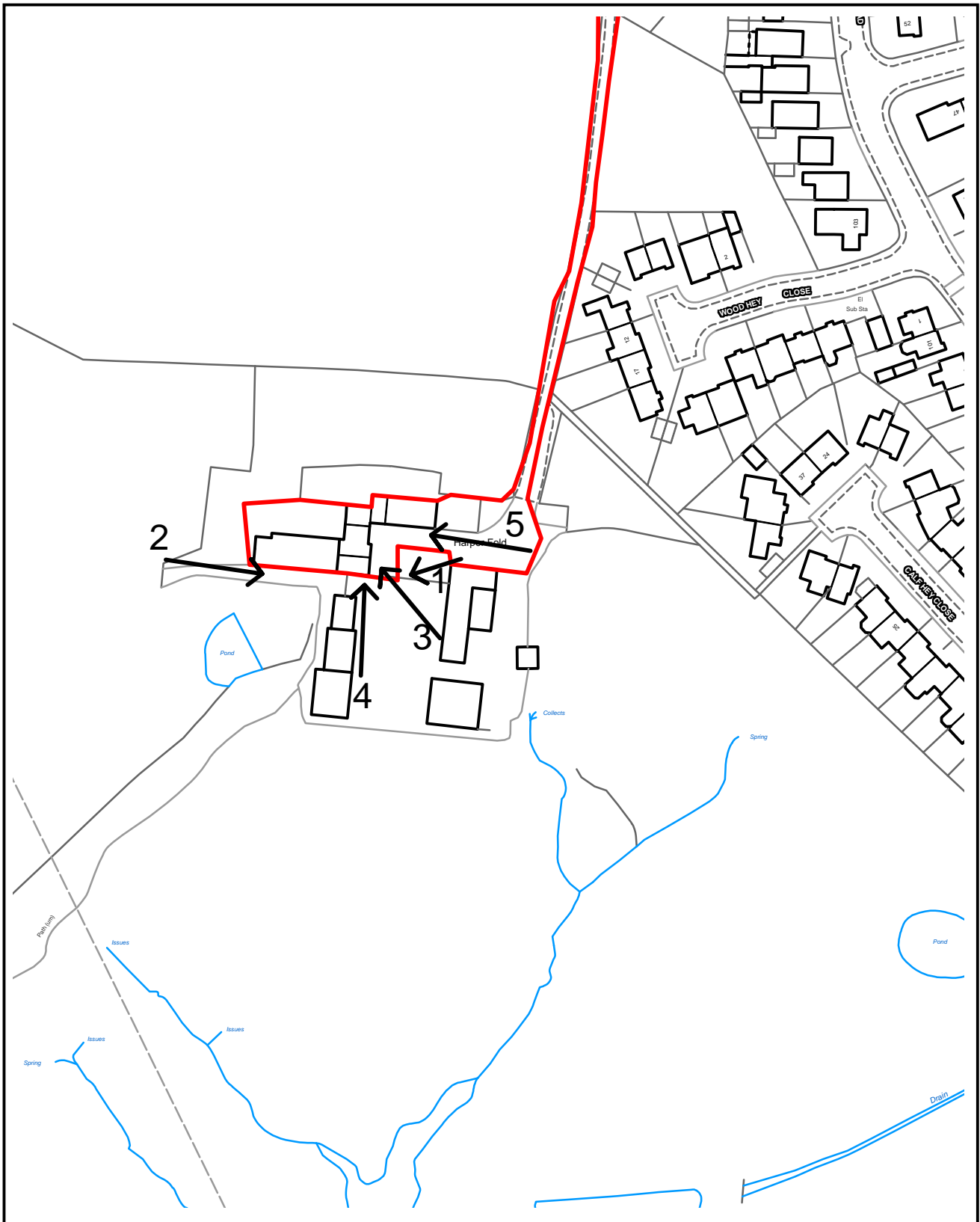
Reason. Insufficient information has been submitted at application stage. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological

Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

10. The land to be used for garden area for domestic purposes in conjunction with the new dwellings shall be restricted to the area indicated in revised plan reference 15388/05/A and no other land within the application site.
Reason. To protect the amenity of the Green Belt in accordance with the Adopted Bury Unitary Development Plan Policy OL1 Green Belt and the associated Supplementary Planning Document 9 Conversion and Re-use of Buildings in the Green Belt.
11. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.
12. Details/samples of the materials and windows to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/samples shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 Townscape and Built Design, H2/1 - The Form of Residential Development and OL1/4 - Conversion and Re-use of Building in the Green Belt.
13. No development shall commence unless and until details of foul and surface water drainage proposals have been submitted to and approved by the Local Planning Authority. The proposed surface water scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance. It must be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements for any SuDS features should also be provided.
Reason. To promote sustainable development and reduce flood risk. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. The applicant must demonstrate that the development will not increase flood risk for residents of adjacent properties pursuant to Bury Unitary development Plan Policy EN5/1 - New Development and Flood Risk and chapter 10 - Meeting the challenge of climate change, flooding and coastal change.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60508

**ADDRESS: Harper Fold Farm
Lavender Street
Radcliffe**

Planning, Environmental and Regulatory Services



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60508

Photo 1



Photo 2



60508

Photo 3



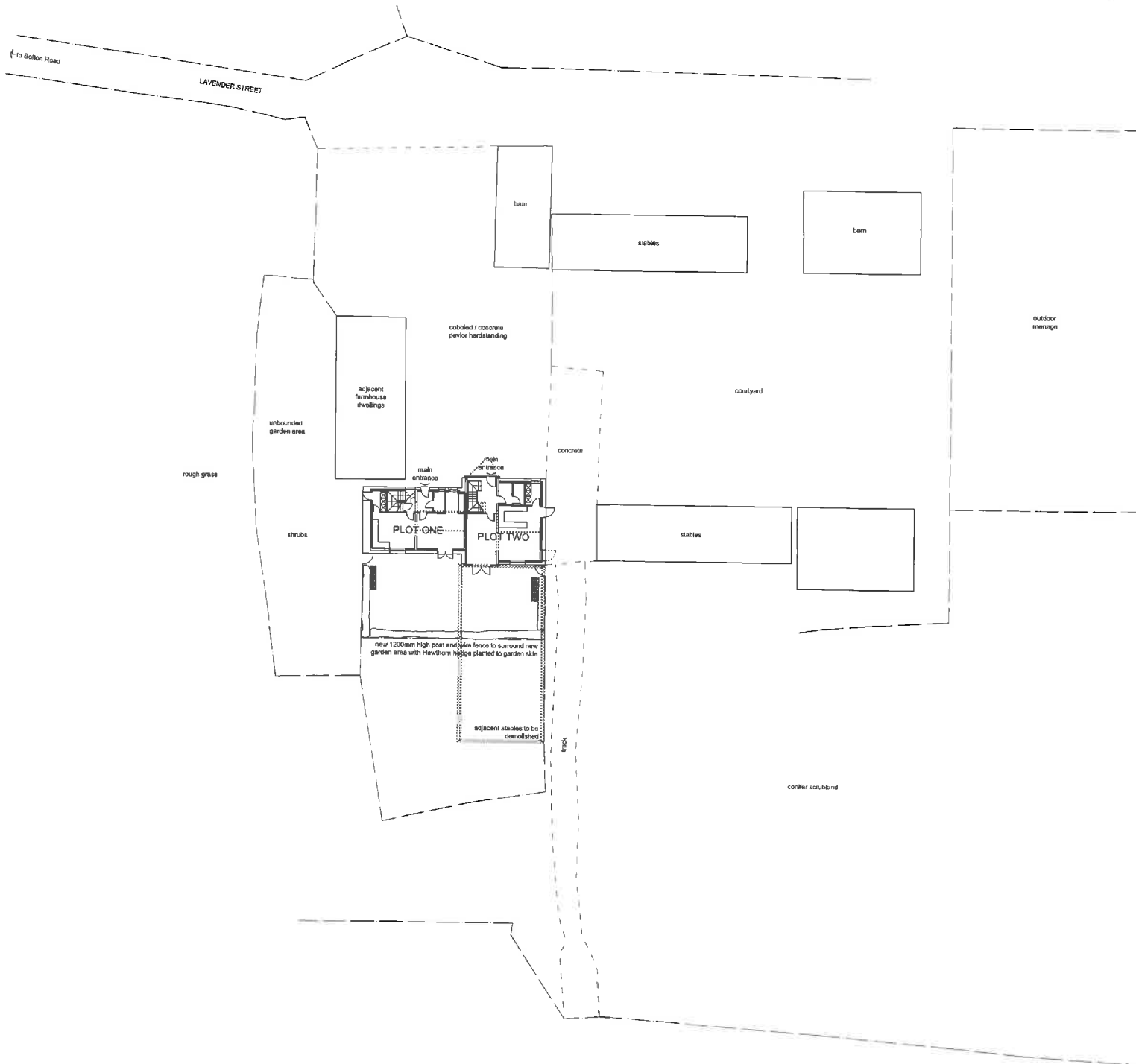
Photo 4



60508

Photo 5

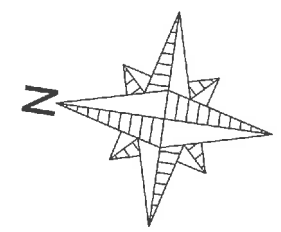




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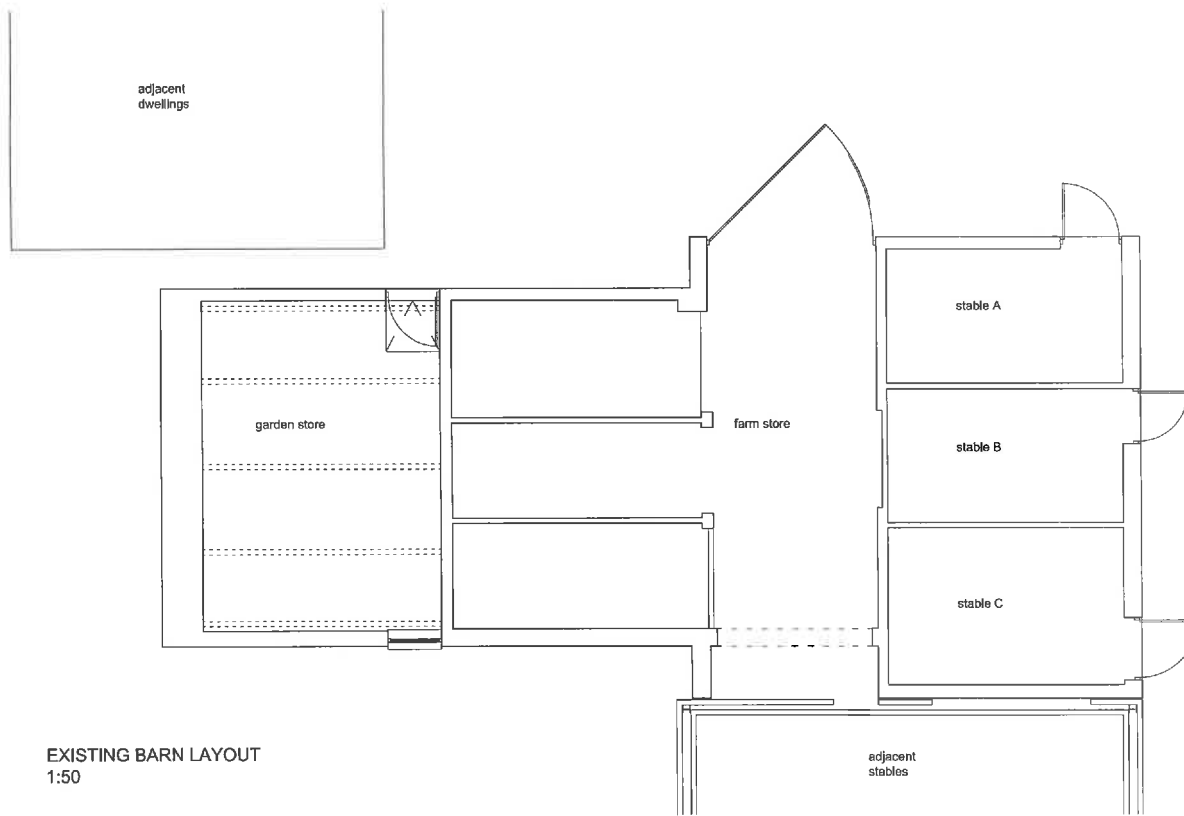
REV.	AMENDMENTS	DATE
A	garden areas amended boundary treatments amended	11.10.16



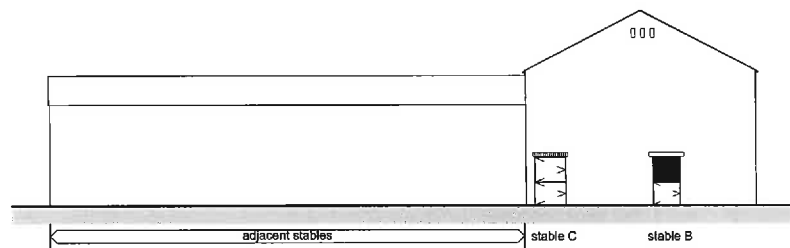
Project	PROPOSED BARN CONVERSION HARPER FOLD FARM, RADCLIFFE
Drawing	PROPOSED SITE PLAN
Client	MR J LYSAK
Drawn By	CMG
Scale	1:200
Dwg No.	1503M.05 A
Dwg. Size	A1
Date	MAY 2015

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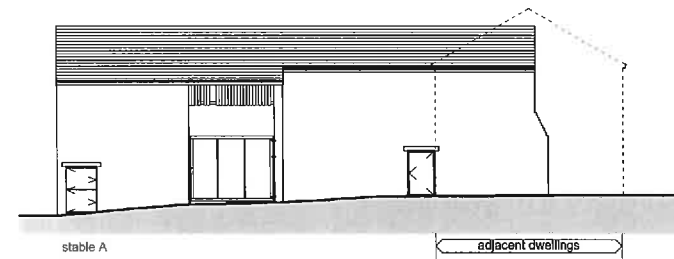
2 MANCHESTER ROAD BURY LANCASHIRE BURGER
 TELEPHONE 0161 794 8314 FACSIMILE 0161 794 6995
 EMAIL: mail@johnholti.co.uk
 DO NOT SCALE DRAWING



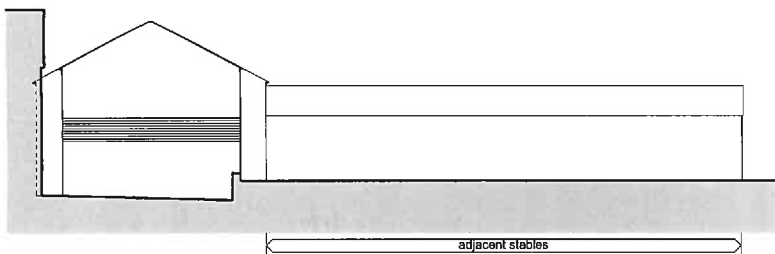
EXISTING BARN LAYOUT
1:50



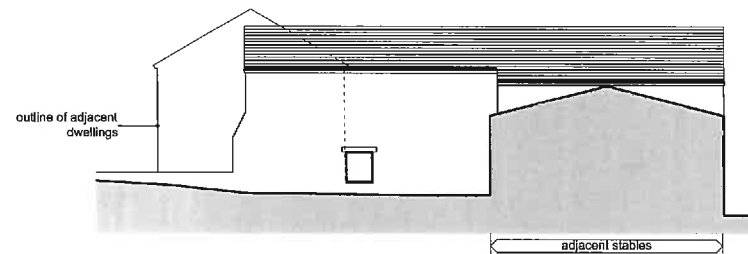
EXISTING SOUTH ELEVATION
1:100



EXISTING EAST ELEVATION
1:100



EXISTING NORTH ELEVATION
1:100



EXISTING WEST ELEVATION
1:100

NOTES

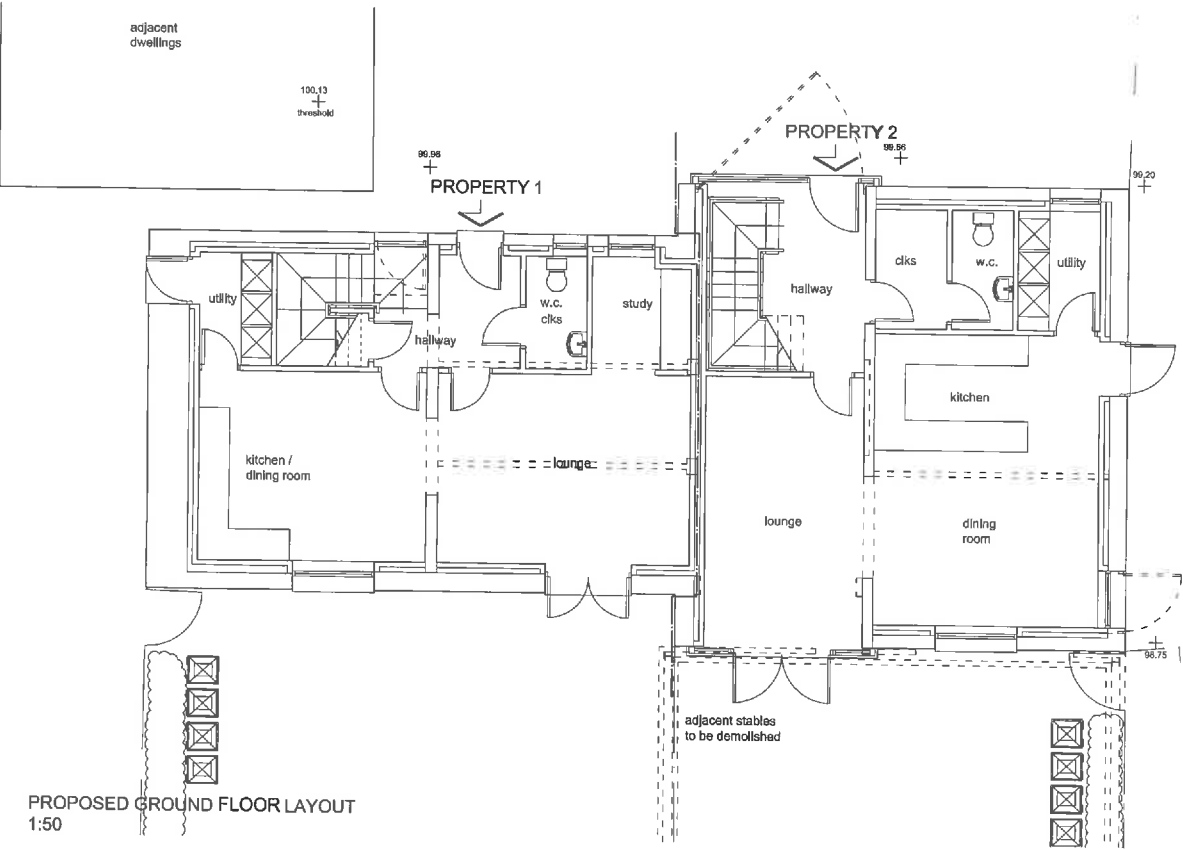
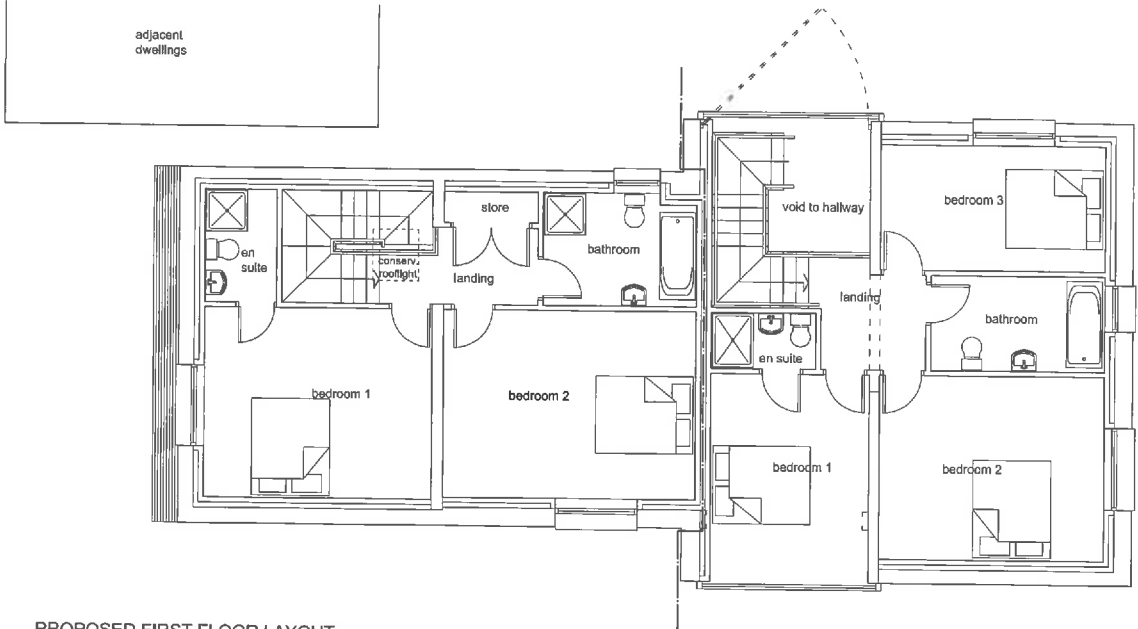
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REV. AMENDMENTS DATE

Project	PROPOSED BARN CONVERSION- HARPER FOLD FARM, RADCLIFFE
Drawing	EXISTING FLOOR LAYOUT & ELEVATIONS
Client	MR J LYSACK
Drawn by	CMG
Scale	1:50 & 1:100
Dep. No.	15088-04
Dep. Size	A1
Date	MAY 2015

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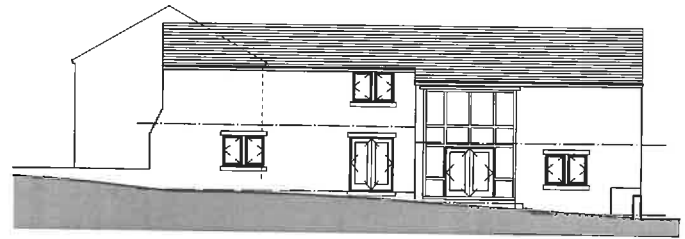
3 MANCHESTER ROAD BURY LANCASHIRE BL10 4DN
TELEPHONE 0181 784 8314 FACSIMILE 0181 784 0305
E-MAIL: rh@johnholtarchitects.co.uk
DO NOT SCALE DRAWING



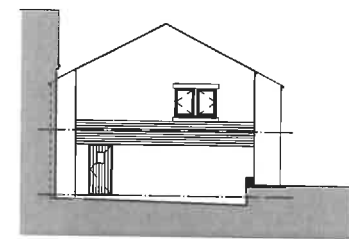
PROPOSED SOUTH ELEVATION
1:100



PROPOSED EAST ELEVATION
1:100



PROPOSED WEST ELEVATION
1:100



PROPOSED NORTH ELEVATION
1:100

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REV.	AMENDMENTS	DATE
A	window arrangements amended	11.10.10

Project	PROPOSED BARRY CONVERGENCE HARPER FOLD FARM, MANCHESTER
Drawing	PROPOSED FLOOR LAYOUT & ELEVATIONS
Client	MR J. LYSAK
Des. By	CHC
Scale	1:50 & 1:100
Fig. No.	15/08/03 A
Dep. Size	A1
Date	MAY 2015

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 E-MAIL jh@johnholtarchitects.co.uk
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Ward: Radcliffe - West

Item 11

Applicant: Mr Lysack

Location: Harper Fold Farm, Lavender Street, Radcliffe, Manchester, M26 3TJ

Proposal: Proposed indoor riding school/menage

Application Ref: 60509/Full

Target Date: 19/10/2016

Recommendation: Approve with Conditions

Description

The application relates to a well established equestrian centre on a former farmstead. The farm was originally a dairy producing business, but for economic and financial reasons was not able to continue to operate and as a result has developed into an equestrian centre with stabling.

The site comprises a cluster of buildings including the farmhouse, barn, outbuildings and stables and is located in the Green Belt and River Valley, surrounded by fields on three sides. To the south is part of Bury & Bolton SBI, covering Dingle Reservoir. The site is accessed from the north by an unmade, unadopted road which is also a Public Right of Way. On the eastern side of the access road is a large housing estate.

The existing barn to the north of the application site is subject to a current application for conversion to two dwellings (60508).

This application seeks permission for an indoor riding arena. It would have a footprint measuring 20m by 40m with a shallow pitched roof to a maximum ridge height of 6.6m. It would be constructed of olive green powder coated corrugated steel sheeting, with a grey corrugated roof with polycarbonate rooflights. The arena would be sited to the west of the existing stables and south of the barn and farm dwelling house. There are two existing steel shipping containers on the site of the new building which would be removed.

The application is for the same scheme which was granted permission in 2011, but which has since lapsed.

Relevant Planning History

01851/E - Pre-application enquiry for block of timber stables & store - Enquiry completed 19/07/2016

54566 - Barn Conversion to single dwelling - Approved 21/12/2011

54566 - Indoor Riding school - Approved 21/12/2011

60508 - Proposed barn conversion to form 2 no. new dwellings - Undecided

Publicity

The following properties were notified by letter dated 31/08/2016 -

Nos 103-117(odd) Harper Fold Road, 2-12(even) and 9-17(odd) Wood Hey, 1, 3, 4, 5, 6 and 7 Great Stone Close, Black Moss Farm, Black Moss Court, 3, 5, 6, 7, 8, 9 and 10 Black Moss Close, 13-35(odd) Calf Hey Close, 421-423, 431-435 Bolton Road.

Site notice posted 22/9/2016.

Press notice in Bury Times - 8/09/2016.

One representation from 5 Woodhey Close - summarised as follows:

- Would it attract more visitors - the lane already has high traffic and the public access is

- dangerous due to blind corners and the speed and size of vehicles using it;
- People who visit the farm often park on nearby streets causing problems to residents;
- The horses are often exercised on council land where no horse signs are already in place;
- Understand there is planning for 2 houses - the farm already restricts access to 'public rights of way' by fitting gates and obstructing entry and guiding people down other routes

The resident has been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection.

Drainage Section - No objection subject to condition.

Environmental Health - No response received.

Public Rights of Way Officer - No objection

Greater Manchester Police - No response received.

Greater Manchester Ecology Unit - No objection subject to conditions.

Unitary Development Plan and Policies

SPD10	Planning for Equestrian Development
OL1/2	New Buildings in the Green Belt
OL5/2	Development in River Valleys
EN6/1	Sites of Nature Conservation Interest SSSI's NNR's
NPPF	National Planning Policy Framework
EN6/3	Features of Ecological Value
EN1/1	Visual Amenity
RT1/2	Improvement of Recreation Facilities
OL4/7	Development Involving Horses
EN9	Landscape
EN7	Pollution Control
HT2/4	Car Parking and New Development
EN7/2	Noise Pollution
EN5/1	New Development and Flood Risk

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies - The application is for equestrian use within the Green Belt and as such the following policies are considered relevant.

Paragraph 89 of the NPPF considers the construction of new buildings as inappropriate development in the Green Belt, exceptions to which are:

- buildings for agriculture and forestry;
- provision for outdoor sport and recreation and cemeteries as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it;
- extension/alteration to a building;
- replacement of a building;
- limited infilling in villages;
- limited infilling or partial or complete redevelopment of previously developed sites.

OL1/2 - New Buildings in the Green Belt - The construction of new buildings inside the

Green Belt is inappropriate development, unless it is for one or more of the following purposes:

- a) agriculture and forestry (except where permitted development rights have been withdrawn);
- b) essential facilities for outdoor sport and outdoor recreation, for cemeteries, and for other uses of land which preserve the openness of Green Belt and which do not conflict with the purposes of including land in it;
- c) limited extension, alteration or replacement of existing dwellings, provided that this would not result in disproportionate additions over and above the size of the original dwelling, or, in the case of replacement of existing dwellings, the new dwelling is not materially larger than the one it replaces;
- d) limited infilling in existing villages as set out under Policy OL1/3.

OL4/7 - Development Involving Horses - The keeping of horses for recreational purposes or as part of commercially based equestrian activities will be considered acceptable where it would not have an adverse effect on the appearance of the rural areas. In particular, high standards of design, construction and maintenance will be expected as part of any development proposals.

SPD 10 - Planning for Equestrian Development which provides design related guidance in respect of the provision of new stables, field shelters, riding arenas, storage areas and other forms of equestrian development. Advice also relates to ensuring development would be sympathetic to surroundings in terms of siting and appearance and would not impact on environmental quality, amenity, wildlife and character of the Green Belt.

Acceptability of use - The application would involve the provision of facilities relating to outdoor recreation purposes and as part of an existing commercially based equestrian centre. It would be site in close proximity to other buildings on the site and would be constructed of a material which is of a temporary nature and could be removed in the future.

As such, the development would be considered acceptable and would comply with paragraph 89 of the NPPF and UDP Policy OL4/7 and SPD10.

Impact on the character of the Green Belt - Given that the use is acceptable in principle, the next most important consideration is the impact on the openness and character of the Green Belt.

The proposed indoor arena would have a footprint of 20m by 40m which is the size specified as a maximum in the guidance note SPD 10. With a maximum ridge height of some 6.6m, it would be similar in size to many agricultural buildings erected in the countryside. The building would be located next to an existing cluster of buildings and in front of an area of densely planted trees and shrubs.

There is a cross-fall of approximately 2m which runs across the site from north to south which would involve some cut and fill to be carried out. This would reduce the overall land level by 0.5m to the northern side and require the southern area to be raised by 1.3m, to create a level platform. Overall, there would not be a significant alteration to land levels and the building would be screened from the west and south by the existing trees. The building would be clad in olive green with a grey roof to more readily blend in with the surrounding environment and vegetation. As such, its impact on the Green Belt would be limited, would not be detrimental to the openness of the Green Belt and considered acceptable.

Given that the arena would be for equestrian use in the Green Belt, it is recommended that a condition be imposed requiring the building to be removed if it ceased to be used for that purpose. With this condition in place, and given the above factors in terms of its size, siting and design, the proposal is considered to be acceptable and would accord with UDP policies OL4/7 guidance in SPD 10.

Car parking and access - The site already operates as a commercial equestrian business, for approximately 24 horses, and has a large yard with car parking for 20 plus vehicles which would also serve those using the arena. Users of the stables would generally visit the site at different times of the day and parking does not appear to be an issue at the site. Some of those who keep horses at the farm would be local to the area, and in any event likely walk to and from the site.

Access to the site is via a single width unmade road and Public Right of Way. This is used by walkers and residents who live in the locality. The objector has raised the concern that the lane is already heavily trafficked and that the arena would attract more people and therefore more vehicles, which would cause safety issues for pedestrians and walkers using the road.

The indoor riding school would be used for exercising the horses by those who already stable horses at the farm and when weather is a problem for the outdoor exercising of the horses on the adjacent fields, and as such no additional vehicle movements are anticipated or additional parking requirements needed in connection with the riding arena.

As such, parking and access to the site are considered to be acceptable and comply with HT2/4 and SPD10.

Footpaths - The farm has a number of public footpaths crossing it but non of these are affected by the new building. As such the proposal is acceptable and accords with UDP policies and SPD10.

Ecology - An ecological assessment has been submitted with the application as the proposal is within 100m of a known great crested newts pond. Other ecological impacts include Himalayan balsam, loss of bird nesting habitat and loss of trees.

Great crested newts - There are several great crested newt ponds within 250m of the development and one known breeding pond within 100m of part of the site. There is therefore a risk of an offence under the Habitats Directive. The experienced ecologist working for the developer has recommended reasonable avoidance measures as opposed to a license application to Natural England. GMEU accept that such an approach is possible. The area that would be cleared consists primarily of dense conifer plantation with no ground vegetation below the trees. Small areas of tall ruderal vegetation and rank vegetation (less than 0.1ha) along two edges of the plantation are small enough that a combination of strimming and visual search is feasible, one of these areas is also in excess of 100m from the breeding pond. In addition, direct access to the area to be cleared from the pond is through conifer plantation, hostile habitat for newts.

A method statement has been proposed by the consultant. GMEU are satisfied that this would be adequate to prevent an offence and recommend a condition that the Reasonable Avoidance measures in the submitted Ecological Issues report be applied.

Nesting birds - Potential nesting bird habitat would be disturbed as a result of the development, including vegetation and the buildings. All British bird nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife and Countryside Act 1981 as amended. A condition is recommended to restrict the removal of trees or vegetation during the bird nesting season.

Himalayan balsam - This species is listed under schedule 9 part 2 of the Wildlife and Countryside Act 1981 as amended, was identified in the vicinity of the barns. It is an offence to introduce or cause to grow wild any plant listed under this schedule. Outline management proposals have been included. A condition to submit a detailed method statement for the mitigation of the invasive species is recommended.

Ecological Enhancement Measures - The NPPF states that the planning system should contribute to and enhance the natural environment. The development would result in the

loss of semi-mature dense conifer plantation. The ecological value of this habitat is limited primarily to the cover it provides for wildlife and represents only a small percentage of the woodland present on the site. It would therefore represent a minor negative impact at the site level and negligible impact in the locality. Whilst mitigation would not be possible on site, compensation through habitat management of the wider land holding is proposed primarily through the creation of additional ponds for gcn breeding, positive management of the existing ponds and management of Himalayan balsam within the wider holding. Whilst this detail cannot be conditioned as it would be outside the red edge site, there is already evidence that work is underway, with balsam and scrub clearance occurring around the existing ponds. Given the scale of the development, a condition is recommended for landscaping to be carried out within the red edge site.

The scheme is acceptable in terms of its impact on the SBI and accords with both local and national policies.

Objection - The concerns of the objector have been addressed in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 10/174.01, 03A and Ecological Report from Dave Bentley Ecological Services dated June 2016 and Daylight Bat and Nesting Bird Survey dated 24/05/2016 from Martin Prescott Environmental Services and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/samples of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policies OL1/2 - New Buildings and Associated development in the Green Belt, OL4/7 - Development Involving Horses and SPD10 - Planning for Equestrian Development.
4. Measures to mitigate the impact on great crested newts shall be implemented in accordance with the details contained in the Ecological Issues report for Harper Fold by David Bentley Ecological Services Version 1.2 Sections 6.12 to 6.25 as submitted with the planning application.
Reason. In order to ensure that no harm is caused to a Protected Species

pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. No works to trees or shrubs shall occur or building works commence between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no active bird nests are present which has been agreed in writing by the LPA.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
6. Prior to any earthworks a detailed method statement for the eradication and/or control and/or avoidance measures for himalayan balsam shall be submitted to and approved in writing to the Local Planning Authority. The approved method statement shall be adhered to and implemented in full. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.
Reason. The scheme does not provide full details of the actual extent of Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
7. A landscaping scheme shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. The content of the plan should include elements that provide habitat for nesting habitat and amphibians. The approved plan will be implemented in accordance with the approved details. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
8. The two existing steel shipping containers on the site of the proposed riding school shall be permanently removed within one month of the substantial completion of the proposed building hereby approved.
Reason. In the interests of visual amenity pursuant to UDP Policy EN1/1 Visual Amenity.
9. All activity on the site shall be confined to the following hours:-
0800 hrs to 2100 hrs daily.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to UDP Policy EN7/2 Noise Pollution.
10. Before commencement of development, details of all external lighting shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented in accordance with the approved details.

Reason. In the interests of residential amenity pursuant to UDP Policy EN7 Pollution.

11. Should the use of the indoor arena hereby approved cease to operate for a continuous period of more than 12 months, it shall be removed from site within 3 months of the expiry of the 12 month period.

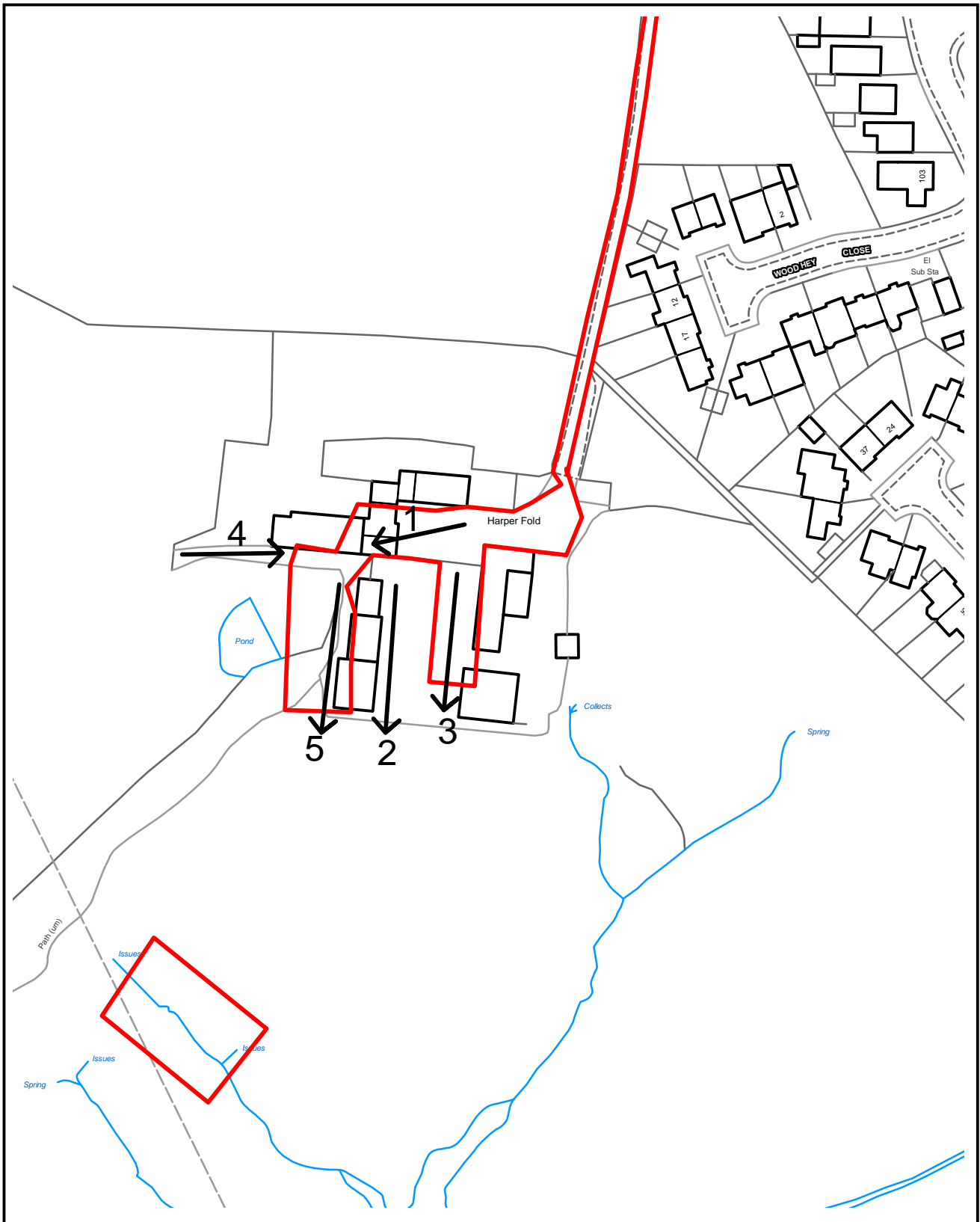
Reason: In the interests of the visual amenity pursuant to Policies OL1/2 – New Buildings in the Green Belt of the Bury Unitary Development Plan and SPD10 - Planning for Equestrian Development and chapter 9 - protecting Green Belt land of the NPPF.

12. No development shall commence unless and until details of foul and surface water drainage proposals have been submitted to and approved by the Local Planning Authority. The proposed surface water scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance. It must be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements for any SuDS features should also be provided.

Reason. To promote sustainable development and reduce flood risk. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. The applicant must demonstrate that the development will not increase flood risk for residents of adjacent properties pursuant to Bury Unitary Development Plan Policy EN5/1 - New development and Flood Risk and chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60509

ADDRESS: Harper Fold Farm
Lavender Street
Radcliffe

Planning, Environmental and Regulatory Services



Bury
COUNCIL

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60509

Photo 1



Photo 2



60509

Photo 3



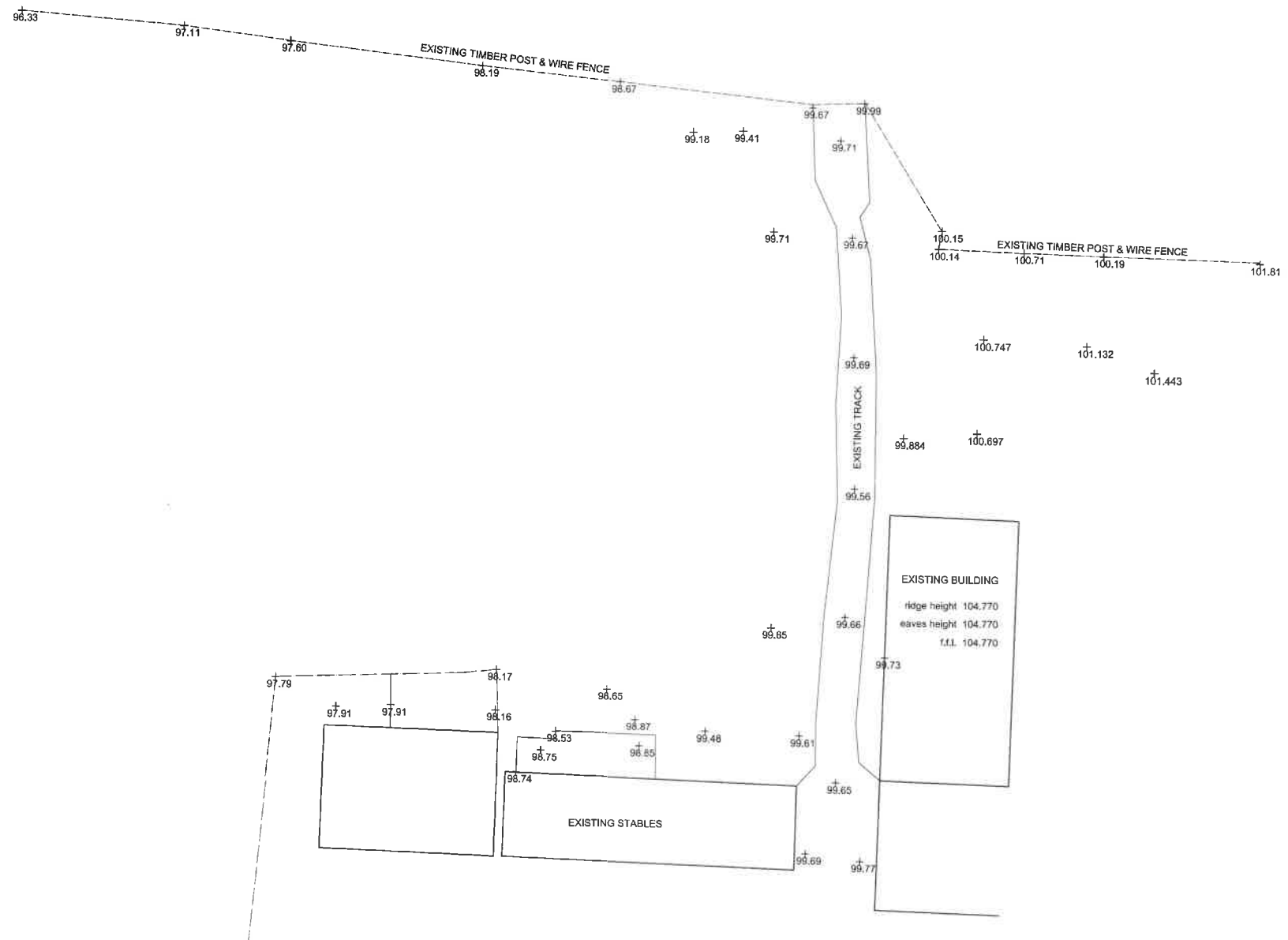
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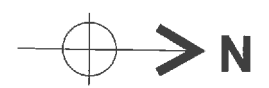
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Photo 5



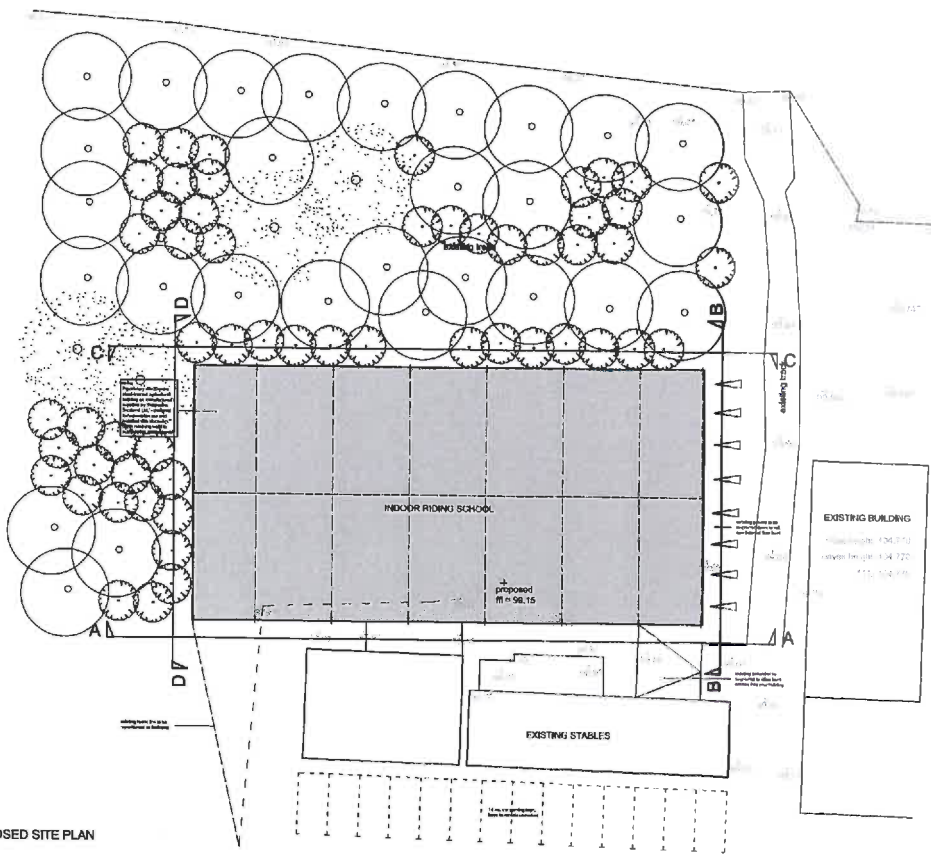


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- | REV. | AMENDMENTS | DATE |
|------|------------|------|
| | | |



Project	INDOOR RIDING SCHOOL: HARPER FOLD FARM, RADCLIFFE
Drawing	EXISTING SITE SURVEY
Client	Mr J LISACK
Dwn. By	CMc
Scale	1200
Drg. No.	10174.01
Drg. Size	A2
Date	AUGUST 2010

JOHN HOLT ARCHITECTS LTD.



PROPOSED SITE PLAN

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- | REV. | AMENDMENTS | DATE |
|------|------------------------------|----------|
| A | amended pool planning advice | 01.12.10 |



ELEVATION A-A



ELEVATION B-B



ELEVATION C-C



ELEVATION D-D

Project	INDOOR RIDING SCHOOL HAMPER FOLD FARM, FACILITATE
Drawing	SCHEME 1: SITE PLAN & ELEVATIONS
Client	Mr J LISACK
Drawn By	DMC
Scale	1:200
Dwg. No.	10174/03 A
Dwg. Size	A3
Date	AUGUST 2010

Ward: Whitefield + Unsworth - Unsworth

Item 12

Applicant: Commercial Development Projects Limited (CDP Ltd)

Location: Land Off Roach Bank Road, Bury, BL9 8RQ

Proposal: Full planning application for an industrial unit for a food production facility with ancillary offices, associated parking, service yards and landscaping

Application Ref: 60556/Full

Target Date: 06/12/2016

Recommendation: Approve with Conditions

Description

The application relates to 3.92 hectares of land situated on the westerly edge of Pilsworth Industrial Estate. The site forms part of the Employment Generating Area and land allocated for Business, General Industrial and Warehousing Uses as defined in the Bury Unitary Development Plan under policies EC1/1 and EC2/1. The majority of the Industrial Estate has been developed out for similar industrial and warehousing purposes.

The site has been the subject of landfill operations which were completed to achieve a level surface in preparation for industrial development. To the north and west, the site is bounded by a Wildlife Link and Corridor (Policy EN6/4) and River valley (Policy OL5/2), beyond which land falls away steeply to the River Roch with housing development beyond. To the east and west are well established industrial and business units.

The site fronts Roch Bank Road and whilst there is no existing access into the site, there is a short extension to Pilsworth Way at the most westerly point of the site. A bund has been constructed across the site frontage for security purposes.

The application seeks full planning permission for a 16,110 sqm food production facility with ancillary offices, associated parking, service yards, access and landscaping. The facility would import foodstuffs to be prepared and packaged on site, after which it would be collected for distribution to supermarkets and food outlets.

The building would be located more or less centrally within the site with the staff and visitors car park and goods-in service yard in front of the building. A new access into the site would be created at the most easterly end off Roach Bank Road with an internal access road running the full length of the site along the boundary with Multiwood, to the goods-out service yard area at the rear of the site.

There would be a 10m width landscaping zone along the westerly boundary adjacent to the Wild Life Corridor which would be planted with mature and semi mature vegetation.

The building would be 15.7m in height and would incorporate a mezzanine floor for office and meeting room accommodation. The majority of the ground floor area would be given to the food processing operation, with areas designated for the goods- in, storage, packing and dispatch store. The building would have a typically industrial external appearance, materials comprising a mix of grey cladding and silver panelling with the office element of a blue brick material. The internal stairwell would have full height glazing, with windows to the offices to the west and the southern elevation.

Parking for 272 cars including 12 disabled spaces, 6 motorcycle and 23 cycle spaces would be laid out at the front of the site.

The business proposes a 24 hour operation, Monday to Friday, operating a shift rotation pattern for up to 400 employees.

Relevant Planning History

58223 - Outline planning permission for B2 and B8 development with all matters reserved except for access - Approved 19/02/2015

54580 - Extension of time implementation of planning permission 50804 for office development - Approved 21/12/2011.

50804 - Office Development (total of 8864 sqm of office floor space) - Approved 18/2/2009

49295 - Office Development (total of 10194 sqm of office floorspace) - Refused 21/5/2008. Appeal withdrawn.

48413 - Office Development (7896 sqm of office floor space) - Application withdrawn.

41448 - Industrial and warehousing building (Classes B1, B2 and B8) - Approved 2/9/2004

35849 - Variation of Condition 4 of planning permission 27550/92 to allow landfill operations to continue for a further 5 years from 4/3/2000 - Approve 15/2/2000

34913 - Industrial and warehousing development (Classes B2 and B8) - Approved - 24/11/1998

Publicity

Letters sent on 12/9/2016 notifying 86 properties on Harrington Close, Grasmere Drive, Newby Close, Roach Bank Road, Pilsworth road, Pilsworth Way, Redmere Drive, Park 66, Little 66.

Site notice posted 26/9/2016.

Press advert in the Bury Times 22/9/2016.

Amended letter sent on 29/9/2016 to re-notify of revisions to the site layout to include new access arrangements and re-siting of the building.

One letter of objection received from No 19 Harrington Close which raises the following issues:

- Pleased the access has moved as there was concern about light and noise from deliveries;
- Object to the 3 storey building which was previously shown to be behind a tree line and therefore not visible from Harrington Close. The top 2 floors will be visible and have at least 2 floors with windows overlooking out over Harrington Close affecting our privacy.

The objector has been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions. To be reported in the Supplementary Agenda.

Drainage Section - No objection subject to condition.

Environmental Health Contaminated Land - No objections subject to conditions.

Env Health Pollution Control - No response received to date.

Public Rights of Way Officer - No objection

Environment Agency - No objection subject to conditions.

Greater Manchester Police - designforsecurity - No objection. The applicant is advised to incorporate the recommendations of the Crime Impact Statement.

United Utilities (Water and Waste) - No objections. Recommend conditions.

The Coal Authority - No objection subject to condition.

Fire Protection Dept Bury Fire Station (Part B) - No response received to date. Advisory to applicant to contact GMF&R regarding fire safety.

Greater Manchester Ecology Unit - No objection - Recommend conditions.

Rochdale MBC - No response received to date.

Highways England - No objection subject to a condition requiring submission of a Travel Plan.

Transport for Greater Manchester - No objection. Recommend a condition for the submission of a full staff Travel Plan.

Unitary Development Plan and Policies

EC1	Employment Land Provision
EC1/1	Land for Business (B1) (B2) (B8)
EC2/2	Employment Land and Premises
EC5	Offices
EC5/2	Other Centres and Preferred Office Locations
EC6	New Business, Industrial and Commercial Development
EC6/1	New Business, Industrial and Commercial
EN1	Built Environment
EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN5	Flood Protection and Defence
EN5/1	New Development and Flood Risk
EN6/4	Wildlife Links and Corridors
EN7	Pollution Control
OL5/2	Development in River Valleys
EN1/1	Visual Amenity
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework
HT2/10	Development Affecting Trunk Roads
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EC3/1	Measures to Improve Industrial Areas

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - The site is designated under UDP Policies EC1/1 - Land for Business and EC2/1 - Employment Generating Areas and this allocation identifies the site as being suitable for Business (B1), General Industrial (B2) or Warehousing (B8). As such, the principle of the proposal is in accordance with the economic policies of the UDP.

River Valley and Wildlife Link and Corridor - Technically, part of the site extends into an area shown on the UDP proposals map as an area of River Valley (Policy OL5/2) and Wildlife Corridor (Policy EN6/4). However, these boundaries were drawn prior to the completion of landfill operations and as such the designation does not reflect the extent of the development plateau which has been constructed as part of the planning permission for the development of the plateau. The formed plateau extends slightly to the west of the UDP boundary before dropping down into the valley of the River Roch. Consequently the edge of the valley as it is on the ground is considered to be a more appropriate boundary for the purposes of River Valley and Wildlife Corridor policies.

Policy EN1/1 - Visual amenity specifies that development will not be allowed where it would have such a detrimental effect on the visual amenity of areas of environmental value. As such, built development should be positioned away from the edge of the valley so as to avoid a built skyline ridge across the top of the valley.

The layout plan shows there would be a 10m wide landscaping buffer between the site and building on the western edge of the site which is considered would soften and screen the site and building when viewed from the west across the valley. As such, it is considered the siting and position of the built development would not have a detrimental impact on

these policy designations and would be acceptable.

Layout - The proposed site layout plan demonstrates how the building and associated parking and servicing requirements would be accommodated on the site. The building would sit more or less centrally within the site, with a slightly larger area at the front utilised for parking and goods-in servicing and the goods-out service yard located at the rear of the site, accessed via the internal road along the eastern boundary. Adequate servicing areas and the internal access would the arrival and departure of HGV's and facilitate efficient vehicular circulation around the site.

A new access would be created off Roach Bank Road at the easterly side of the site with a gatehouse and vehicle barrier set in some 140m to accommodate the arrival of delivery vehicles and for site security purposes.

As such, it is considered that the proposed layout would comfortably facilitate the size, position and scale of the development without compromise to neighbouring commercial units or impact on highway safety, in compliance with UDP Policies EC6/1 - Assessing New Business, Industrial and Commercial Development and HT4 - New Development.

Highways Issues - A Transport Assessment (TA) has been submitted with the application and TfGM and Highway's England have been consulted.

It has been concluded that there would be no significant issues arising in relation to base traffic flows, forecast trip generation and distribution of traffic and concur with the TA that the impact of the development on the local road network would be minimal. TfGM and Highway's England have raised no objections to the application, subject to the submission of a Travel plan which would be included as a condition.

Parking - Supplementary Planning Document 11 - Parking Standards in Bury, states the maximum requirement for a B2 use (general industry) would be 1 parking space per 60 sqm, which would equate to approximately 260 spaces.

The development proposes 272 spaces with additional provision for cycle and motorcycle parking. It is generally accepted that this type of development would include a certain amount of ancillary office accommodation, and as such can be considered as part of the overall scheme. The applicant states that up to 400 staff would be employed, on a shift pattern basis and as such it would be unlikely that the car park would achieve maximum occupation.

The Highway's section have raised no objection to the development, and given the number of parking spaces would address the policy requirements of SPD11, and that the applicant proposes to initiate and action a Travel plan, it is considered adequate parking would be provided on site.

Impact on the surrounding properties - The site sits in an elevated position in comparison to the residential development across the River Roch some 118m to the west. Site cross sections have been submitted with the application which demonstrates the scale and size of the proposed building in relation the houses on Harrington Close.

The finished ground floor level of the building would be 13.5m higher than the floor level of the houses, and the ridge height 21m higher than those of the houses. There would be a distance of 118m between the nearest properties on Harrington Close and the proposed built development.

Section plan A-A and B-B shows there is already screening of the site from established vegetation and tree planting, which would be reinforced by the 10m wide landscape buffer zone which is proposed to run the full length of the site, and which would comprise planting of mature and semi mature trees, species to be agreed and approved by the implementation of a condition. The embankment planting would also give considerable screening of the

lower part of the building.

Whilst there would be windows to the 3 floors of office accommodation which would face the houses on Harrington Close, at the separation distances involved, the intervening landscaping and landform, and by the nature of the use as offices which would be less frequently accommodated by people than the industrial food processing operations, the impact on privacy and overlooking to the houses on Harrington Close is considered not to be significant and would more than satisfy the requirements with regard to relationships to residential properties.

As such, the proposed scheme is considered to be acceptable and would comply with EN1/2 - Townscape and Built Design and EC6/1 - Assessing New Business, Industrial and Commercial Development.

Design and appearance - The building would be similar in appearance and specification to other units found in the vicinity of the industrial estate. External elevations would comprise grey cladding with silver panelling and louvered detail, and the scale and massing of the building would be broken up by glazing and silver panelling to the office and stairwell elevations to add interest and differentiate between the operational uses within the building. Landscaping is proposed along the Wildlife Corridor and also within the site area and car park which would enhance the overall visual appearance of the site and would add a softer element to the building's industrial functionality.

As such, it is considered that the design of the building would offer a modern and contemporary addition within the industrial estate and be appropriate within the setting of a commercial and business environment, and in therefore in compliance with EN1/2 and EC6/3.

Footpaths - Bridleway Number 67 Bury runs beyond the northern edge of the site. There are no definitive rights of way recorded running across the site.

Air Quality - An Air Quality Assessment has been carried out, and the Environment Section have reviewed the information in order to assess whether the proposed development would likely affect local air quality.

The report addresses the potential risks from dust and air pollutants associated with the construction phase and operational phase of the proposed development.

Operational Phase - This considers the impact that vehicles and traffic travelling to and from the site might have on existing air quality. Given the negligible increase calculated and low concentration calculated, the EH Section are satisfied that the proposed development would not significantly impact local air quality. Additionally, the Traffic Assessment Report has recommended a number of measures to encourage the use of public transport and active-travel.

Construction Phase - The report concludes that the short term impact of additional construction traffic is unlikely to be significant as the calculated increased in traffic flow on Roach Bank Road is 1.2%.

Any potential impact from earthwork and construction activities will be reduced through the use of mitigation measures such as minimising dust generating activities, use of vehicle cleaning facilities, sheeting all vehicles and stockpiles, preventing any site run off and using dust suppression measures.

As such, it is concluded that there would be no significant impact on local air quality from the proposed development.

Environment Agency - The Environment Agency (EA) have identified that the site is in a reasonably sensitive location as it is immediately adjacent to the River Roch and above

secondary aquifer, which are considered to be controlled waters. Further site investigation and assessment would be required to address the possible risk to controlled waters. The EA are satisfied that permission could be granted subject to recommended conditions.

Coal Authority - The application falls within the defined High Risk Area. The Coal Authority previously objected to the application as the submitted information did not adequately address issues of coal mining legacy on the site. It has now been confirmed that the risk from shallow coal mine workings is low and is currently being investigated as part of intrusive site investigations. In the event that shallow mine workings are encountered during these investigations, the Coal Authority considers that due consideration should be afforded to the potential risk posed by mine gas to the proposed development. The Coal Authority would expect the findings of these intrusive site investigations to inform any remedial measures which may be required.

In the event that the site investigations confirm the need for remedial works to treat the areas of shallow mine workings to ensure the safety and stability of the proposed development, it is recommended this should be conditioned to ensure that any remedial works are undertaken prior to commencement of development.

The Coal Authority have withdrawn their objection subject to a condition to secure the above.

Ecology - A Preliminary Ecological Appraisal has been submitted with the application and GMEU have been consulted.

Ecological value - The site has limited ecological value supporting common and widespread species. Revised landscape plans have been submitted which include areas for wildflower seeding, which was recommended by GMEU and is welcomed. Whilst the proposed mixture contains species that are not locally native to the Borough, these species would benefit local pollinators. Given that the wildflower areas are part of the landscaping for an industrial setting, the proposed mixture is considered acceptable.

Invasive species - The site supports an invasive non-native species, Himalayan balsam. A condition is therefore recommended that a method statement be submitted detailing the containment, control and removal of Himalayan balsam on site.

Nesting birds - As the site supports habitats that could be used by nesting birds, a condition to restrict the removal of trees, shrubs and vegetation is recommended.

Adjacent habitats - The Ecology report recommends that a protective buffer zone along the western site boundary should be established to prevent accidental damage to the areas of developing woodland plantation. The development proposes to incorporate a 10m wide landscaping zone between the site boundary and the River Valley and Wildlife Corridor. Mature tree planting in this area is proposed, with details of species to be confirmed by condition.

Response to objector - The impact on residential amenity and overlooking and privacy issues have been covered in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of

the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings - Site layout plan M2172-SK33; Location plan M2172-105 C; Elevations M2172-102 E; M2172-104 B; Floor plans M2172-100 F; Upper floor plans M2172-101 B; Roof plan M2172-106 A; Landscape proposals whole site LL01 B; Landscape proposals car park LL02 B; Site survey M2172-00; Flood risk Assessment CPH/FRA/3341.v1 August 2016; Transport Assessment 1016/5/A September 2016; Preliminary Ecological Appraisal RDF ecology September 2016; Air Quality Assessment 1016/7 September 2016; Crime Impact Statement 2015/0010/CIS/01 version A 14th October 2016 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
4. Following the provisions of Condition 3 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. No development shall commence unless and until a remediation strategy that includes the following components to deal with the risks associated with contamination of the site shall each be submitted to and approved, in writing, by the Local Planning Authority:
 1. A site investigation scheme, based on the information provided in the GeoEnvironmental Desk Study report, to provide information for a detailed assessment of the risk to all receptors that may be affected, including those

off site.

2. The results of the site investigation and the detailed risk assessment referred to in (1) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.
3. A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy in (2) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

The scheme shall be implemented as approved.

Reason. The scheme does not provide full details which are required to secure the satisfactory development of the site pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the local planning authority) shall be carried out until the developer has submitted a remediation strategy to the local planning authority detailing how this unsuspected contamination shall be dealt with and obtained written approval from the local planning authority. The remediation strategy shall be implemented as approved.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

7. Piling or any other foundation designs using penetrative methods shall not be permitted other than with the approval of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

8. No occupation of any part of the development hereby approved shall take place until a verification report demonstrating completion of works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved, in writing, by the Local Planning Authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a "long-term monitoring and maintenance plan") for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan. The long-term monitoring and maintenance plan shall be implemented as approved.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

9. No development shall commence unless and until a report of findings arising from the intrusive site investigations has been submitted to and approved by the Local Planning Authority. Where remediation works are required, a detailed scheme/strategy shall be submitted to and approved by the Local Planning Authority and the implementation of those remedial works carried out within agreed timescales.

Reason. Information has not been submitted at application stage, which is required to ensure the safety and stability of the proposed development, pursuant to chapter 11 - Conserving and enhancing the natural environment.

10. No development shall commence until full details of a scheme for the eradication and/or control of Himalayan Balsam is submitted to and approved in writing by the Local Planning Authority. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority. The approved scheme only shall be carried out in accordance with the approved timetable.

Reason. The scheme does not provide full details of the actual extent of Japanese Knotweed and Himalayan Balsam in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
11. No works to trees or shrubs shall be carried out between 1st March and 31st August inclusive in any year unless a detailed bird nest survey by a suitable experienced ecologist, has been carried out immediately prior to clearance and written confirmation provided that no active bird nests are present, and/or that there are appropriate measures in place to protect nesting bird interest on site which has been agreed in writing by the Local Planning Authority.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
12. The development shall be carried out in accordance with Section 7.7.1 - Protection of Adjacent Habitats - of the Preliminary Ecological Appraisal by RDF ecology dated September 2016.

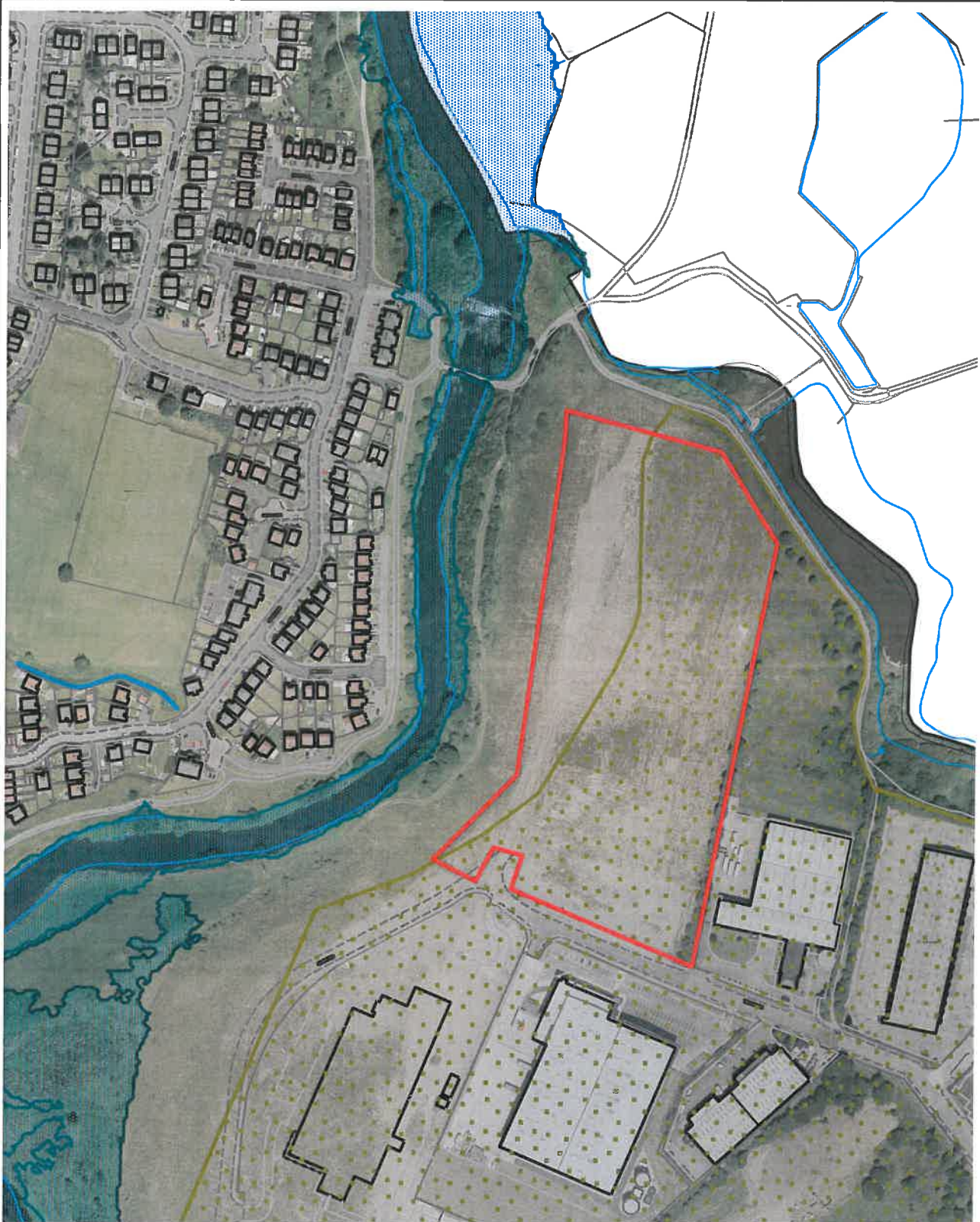
Reason. In order to ensure that no harm is caused to the adjacent habitat pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
13. No development shall commence unless and until details of the proposed landscaping (to include species, size and type) as shown on approved plans LL01 Rev B and LL02 Rev A, has been submitted to and approved by the Local Planning Authority. The scheme shall include a timetable for implementation and management strategy. The scheme hereby approved shall be implemented prior to completion of the building hereby approved. Any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
14. No development shall commence unless the extent and details of all proposed boundary treatment has been submitted to and approved by the Local Planning Authority. The approved details shall thereafter be implemented prior to the first occupation of the building and thereafter maintained.

Reason. Insufficient information has been submitted at application stage. To ensure the security of the site and its visual appearance pursuant to Bury Unitary development plan policies EC6/1 - Assessing New business, Industrial and Commercial Development, EN1/2 - Townscape and Built Design and EN1/5 - Crime Prevention.

15. Details/Samples of the materials be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design and EC6/1 - Assessing New Business, Industrial and Commercial Development.
16. No development shall commence unless and until details of surface water drainage proposals have been submitted to and approved in writing by the Local Planning Authority. The proposed scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance. It must be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements for any SuDS features should also be provided.
Bearing in mind the impact of previous flooding on adjacent areas, exceedance calculations should be provided to a minimum of 1:100 years + 100%, together with a plan showing flow paths and flood extents
Reason. To promote sustainable development and reduce flood risk. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. The applicant must demonstrate that the development will not increase flood risk for residents of adjacent properties pursuant to Unitary Development Plan Policy EN5/1 - New Development and Flood Risk and chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**



PLANNING APPLICATION LOCATION PLAN

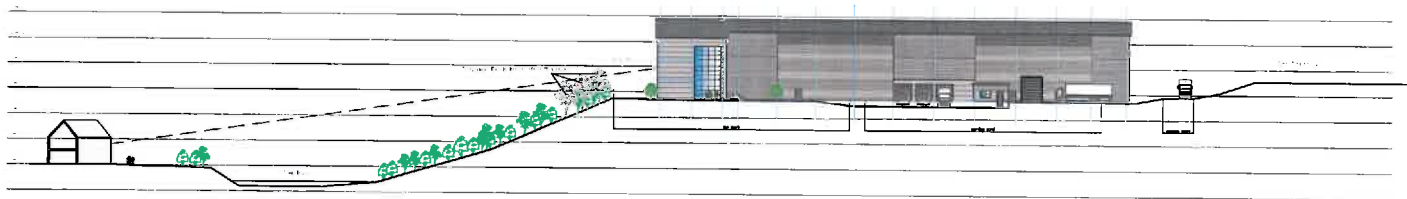
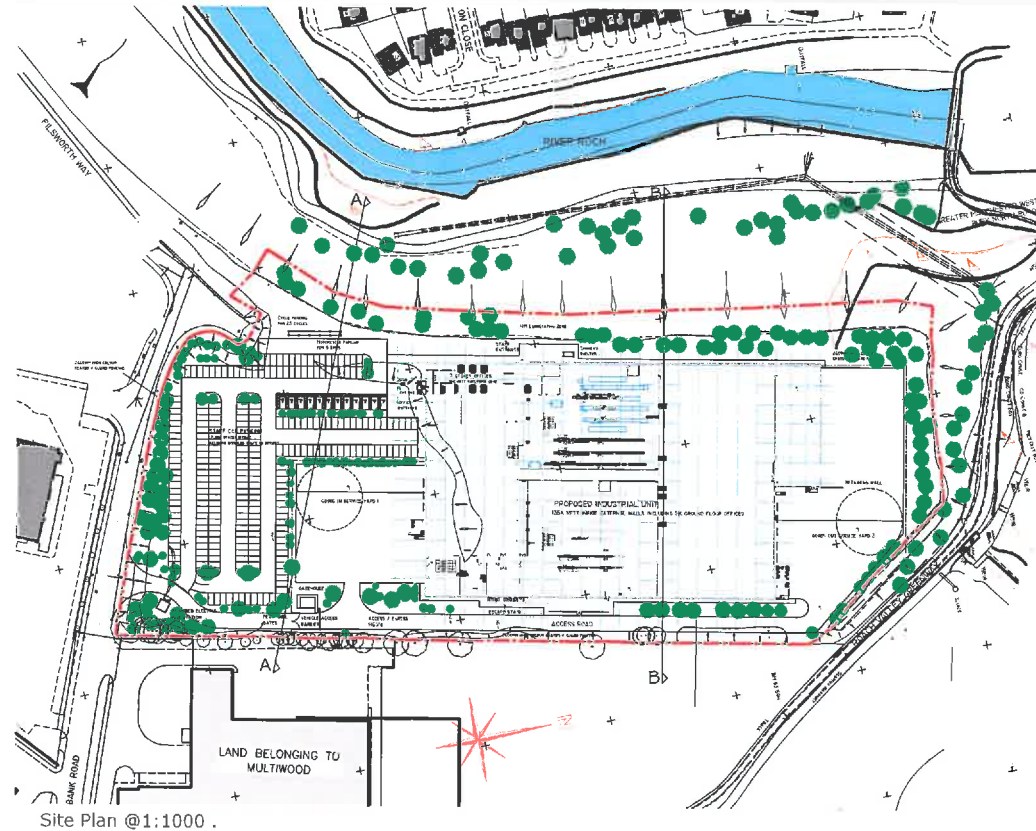
APP. NO 60556

**ADDRESS: Land off Roach Bank Road
Bury**



Planning, Environmental and Regulatory Services

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Site Sections @1:500 .

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Notes

Revisions

No	Date	Description
A	09/11/16	PLACING HANDED, ACCESS ROAD ADDED TO BANK OF SITE
B	09/11/16	POSITION OF REVISION AMENDED

BUILDINGS MANAGEMENT SERVICES LTD

Hadfield Road
 Elland, West Yorkshire
 HGG 3EW
 TELEPHONE : 01422 371616
 FAX No : 01422 376717
 Email : info@bms-ltd.lincs.nhs.uk

**Building
 Management
 Services**

Client



Project

PROPOSED INDUSTRIAL DEVELOPMENT
 ● ROACH BANK ROAD,
 BURY .

Sheet

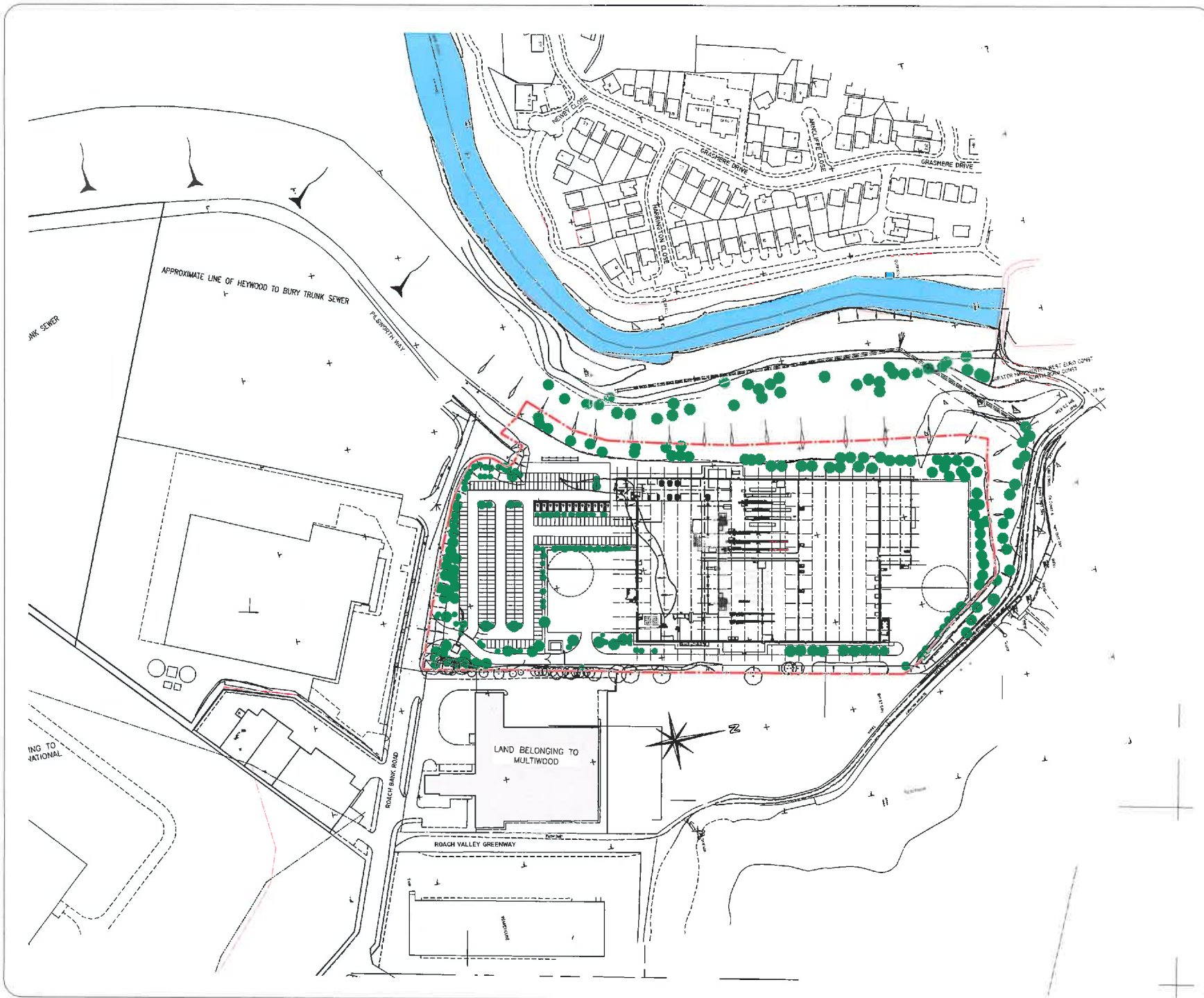
SITE CROSS SECTIONS

Drawn: SGS Date: AUG 16

Scale: 1:500 ● A1

Drawing No: M2172-104

REV B



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NOTES

REV	DATE	DESCRIPTION
1	NETT 10	RED LINE AMENDED
2	NETT 10	BUILDING HAZED
3	NETT 10	RED LINE BOUNDARY AMENDED

BUILDING MANAGEMENT SERVICES LTD
 Huddersfield Road
 Elland, West Yorkshire
 HYS 9BW
 TELEPHONE : 01422 37616
 FAX No : 01422 37617
 EMAIL : PHIL@BMSLTD.COM

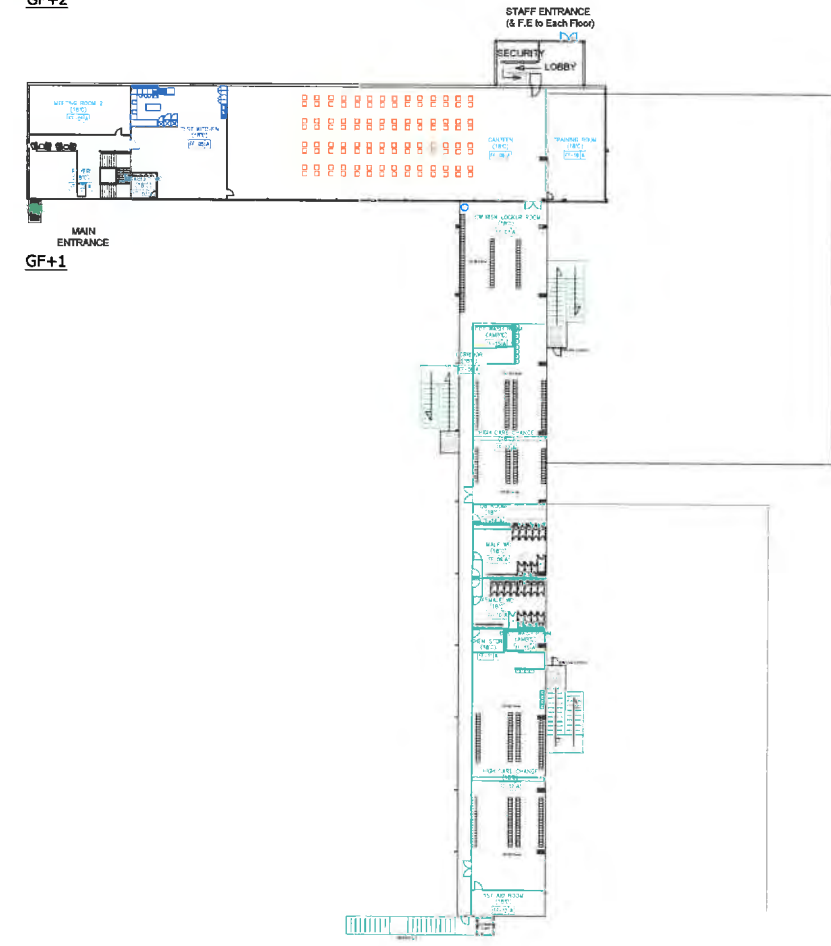
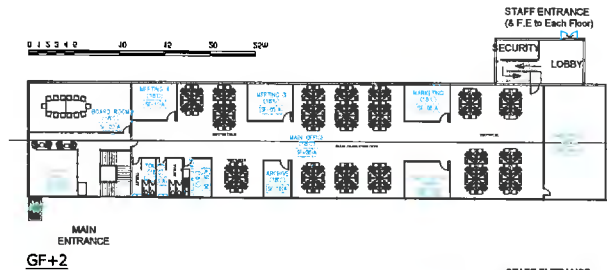
Building Management Services

CLIENT
 C. D. P. LIMITED

PROJECT
 INDUSTRIAL DEVELOPMENT
 ROACH BANK ROAD
 PILSWORTH, BURY

SHEET
 LOCATION PLAN

DATE	4. J. BAKER	DATE	SEPT 16
SCALE	1:1000		
STATUS	PLANNING	REVISION	
DRAWING NO.	M2172-105	REVISION	REV C



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Notes

Revisions

Rev	Date	Description
A	14/06/16	UPDATED TO ADDRESS CLIENT LEVEL...
B	15/07/16	REVISIONS MADE, LAYOUT CHANGES TO VAS 11

BUILDING MANAGEMENT SERVICES LTD
 Huddersfield Road
 Eland, West Yorkshire
 WF5 9BW
 TELEPHONE : 01422 371616
 FAX No : 01422 376717
 email : info@bms-ltd.com

Building Management Services

Client

 Commercial Development Projects Ltd

Project
 Industrial Development @
 Roach Bank Road,
 Bury .

Sheet

Upper Floor plans

Drawn	SSS	Check	JUNE 16
Scale	1: 250 @ AD		
Drawn	02/AM/16/02		
Drawing No.	M2172-101.	Revision	REV B


 Industrial Development
 Roach Bank Rd, Bury .